



**WIGGINS RESIDENCE**

**NOTE:** ARTIST RENDERING ONLY  
 NOT TO SCALE, & MAY NOT  
 REPRESENT THE ACTUAL STRUCTURE

**NOT FOR CONSTRUCTION  
 PRELIMINARY PLANS ONLY  
 PROPERTY OF LANDEN DESIGN**

NO.	DESCRIPTION	BY	DATE

**3/D RENDERING VIEW**  
 PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
 RESIDENCE FOR: WIGGINS FAMILY  
 CUSTOMER: BUILDER  
 LANDEN DESIGN  
 Designer: GREG GONERBUK Phone: 403-674-7474 Email: greg@landendesign.com  
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DATE:

2/5/2018

SCALE:

1/8"=1' or

As shown

**A-1**





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**3-D VIEWS**  
 PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
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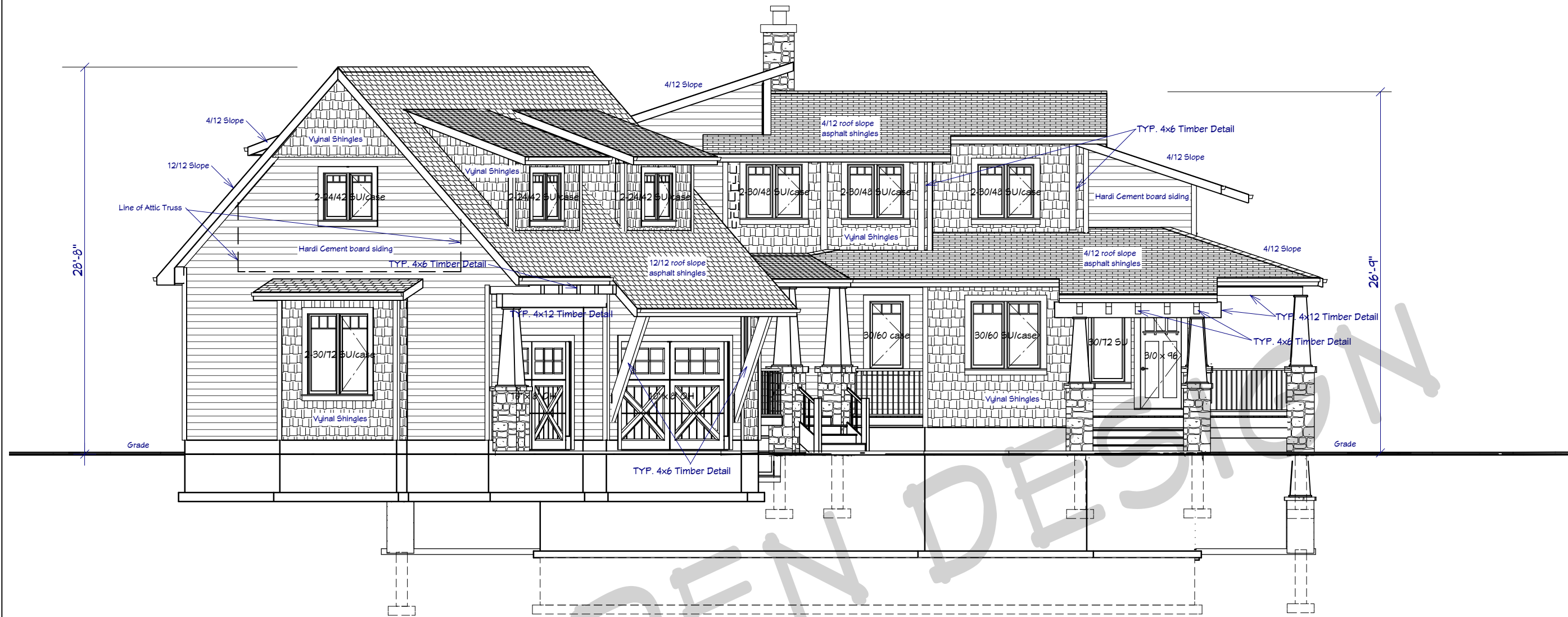
DATE:  
 2/5/2018

SCALE:  
 1/8"=1' or

As shown

**A-2**





FRONT ELEVATION Elevation 1

**DOOR AND WINDOW NOTES:**

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

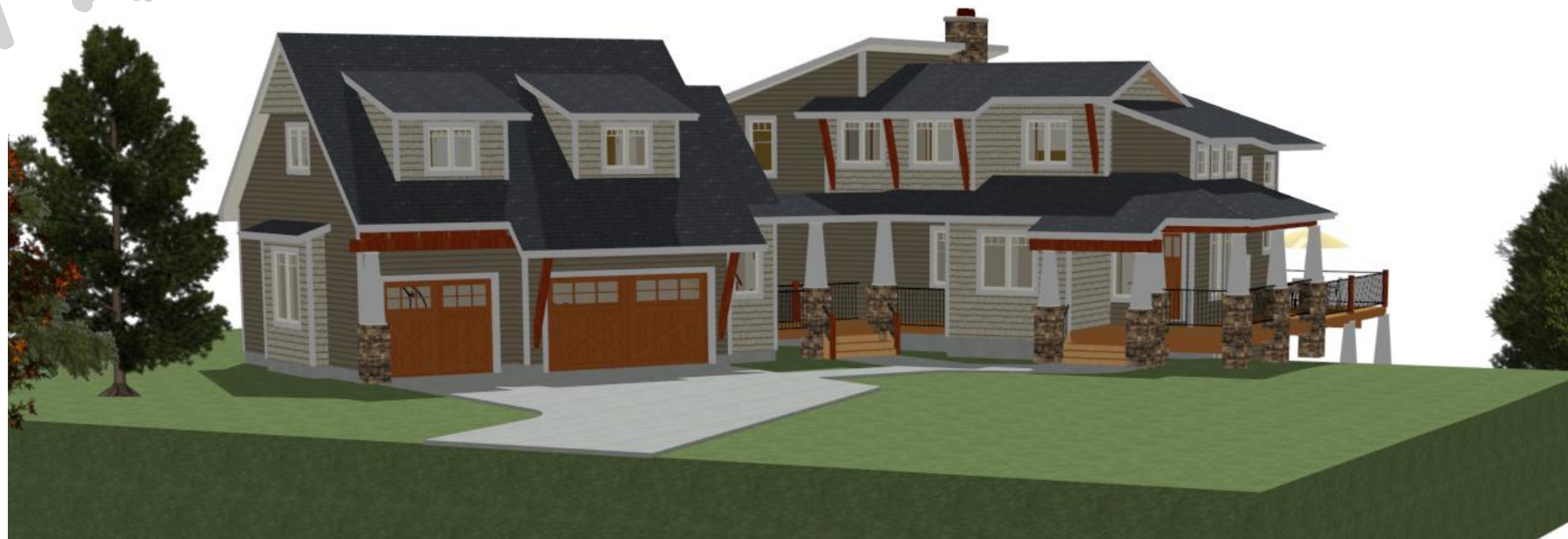
ALL WALK-THRU DOORS ROUGH OPENINGS SHALL BE 2" WIDER & 2-1/2" HIGHER THAN DOOR PLAN NOTE SIZE

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR FROM HOUSE TO GARAGE SHALL BE SELF CLOSING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR EXTERIOR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS SELECTED BY OWNER



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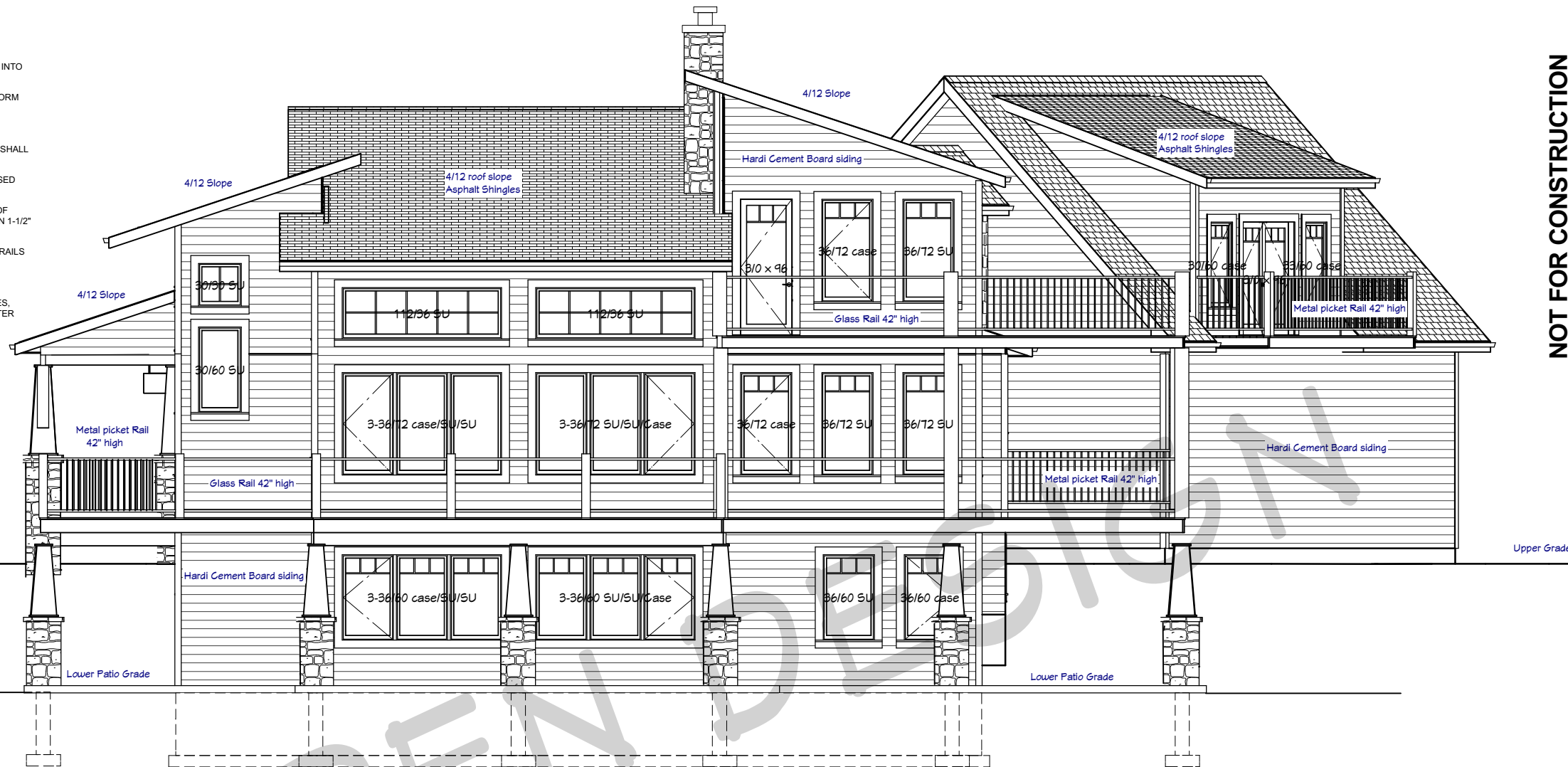
SCALE:  
1/8"=1' or

As shown

A-3

**RAILING NOTES:**

- STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCR OACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
- TREADS SHALL HAVE A MIN. TREAD DEPTH OF 9". STAIR TREADS & RISER MUST BE OF UNIFORM SIZE
- STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
- INTERIOR FLOOR LEVEL RAILING SHALL HAVE A MIN HEIGHT OF 36". INTERIOR STIR RAILING SHALL HAVE VERTICAL HIGH MEASURED FROM THE TREAD NOSING OF 34"
- ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 1/2" GYPSUM WALL BOARD.
- STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 3" IN CROSS-SECTIONAL DIMENSION.
- HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST
- STAIRWAYS HAVING LESS THAN 3 RISERS WILL NOT REQUIRE A HAND RAIL.
- 42" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT ALL PORCHES, DECKS, BALCONIES, EXTERIOR STAIRWAYS AND EXTERIOR LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.
- RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".



**REAR ELEVATION** Elevation 4



**CARPENTRY:**

FRAMING LUMBER DESIGN IS BASED ON NOMINAL LUMBER SIZE. LUMBER USED SHALL CONFORM TO THE NBC & ABC GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE A MINIMUM OF SPRUCE #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN NBC & ABC APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE NBC & ABC APPROVED FASTENER (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS OR SHOWN ON FLOOR JOIST / ROOF TRUSS MANUFACTURERS PLANS OR LAYOUT. HANGERS NOT SHOWN SHALL BE OF A SIZE RECOMMENDED FOR THE FRAMING MEMBER / MEMBERS. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE GALVANIZED OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING SHALL BE NAILED WITH APPROVED GALVANIZED FASTENERS. ALL FRAMING NAILS USED SHALL BE NBC & ABC APPROVED COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS.

PLYWOOD / OSB PANELS SHALL CONFORM TO THE REQUIREMENTS OF THE NBC & ABC FOR PERFORMANCE STANDARDS UNLESS NOTED. PANELS SHALL BE EXTERIOR RATED SHEATHING. OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD / OSB SHEATHING INSTALLATION SHALL BE IN CONFORMANCE WITH NBC & ABC & MANUFACTURERS RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN / OSB ORIENTATION PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, OR HAVE EDGES SUPPORTED BY PLY-CLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH NBC & ABC.

LAMINATED MEMBERS, BUILD UP BEAMS & POST SHALL BE FABRICATED IN CONFORMANCE WITH THE NBC & ABC ALL LAMINATED LVL AND LAMINATED ENGINEERED STRUCTURAL MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH THE MANUFACTURERS GUIDELINES.

PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS / LAYOUT PROVIDED BY THE MANUFACTURED TRUSS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE DESIGNER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND ARE NBC & ABC APPROVED.

- LUMBER SPECIES:
  - A. LUMBER POSTS, LUMBER BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE SPRUCE #2 OR BETTER
  - B. EXPOSED BEAMS/BRACE/BACKET'S TO BE DF-#1 OR CEDAR
  - C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE SPRUCE #2 OR BETTER.
  - D. ALL STUDS TO BE SPRUCE #2 OR BETTER.
  - E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
    - ROOF SHEATHING SHALL BE A MIN OF 3/8" PLYWOOD OR OSB C7W ROOF CLIPS.
    - WALL SHEATHING SHALL BE A MIN OF 3/4" PLYWOOD OR OSB.
    - FLOOR SHEATHING SHALL BE 3/4" T & G PLYWOOD OR OSB (GLUED & SCREWED TO JOIST)
  - F. 'I' JOISTS SHALL BE MANUFACTURED BY AN APPROVED TRUSS JOIST MANUFACTURE OR ENGINEER APPROVED EQUAL.
  - G. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

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ELEVATIONS	
PROJECT / SITE ADDRESS:	

PROJECT: TWO STORY HOME  
RESIDENCE FOR: WIGGINS FAMILY  
CUSTOMER: BUILDER

LANDEN DESIGN  
10000 10th Street, NW  
Edmonton, Alberta T6E 1K2  
Phone: 403-474-7474  
Email: info@landendesign.com



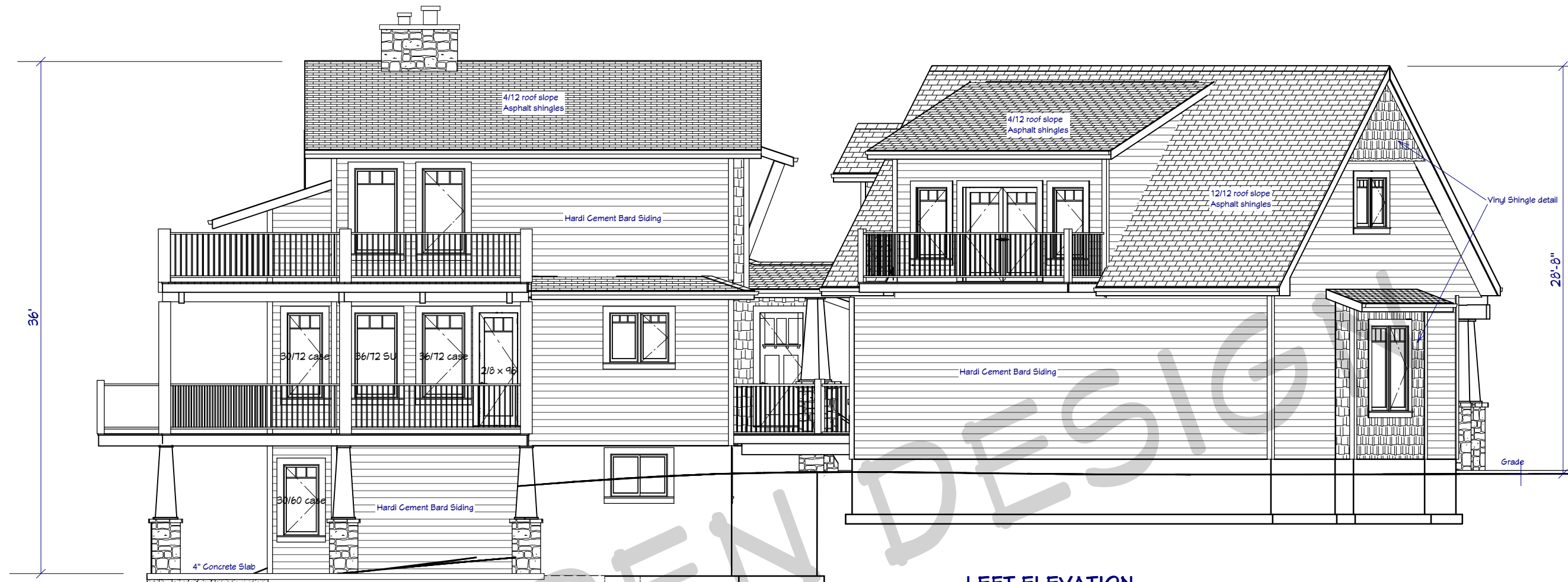
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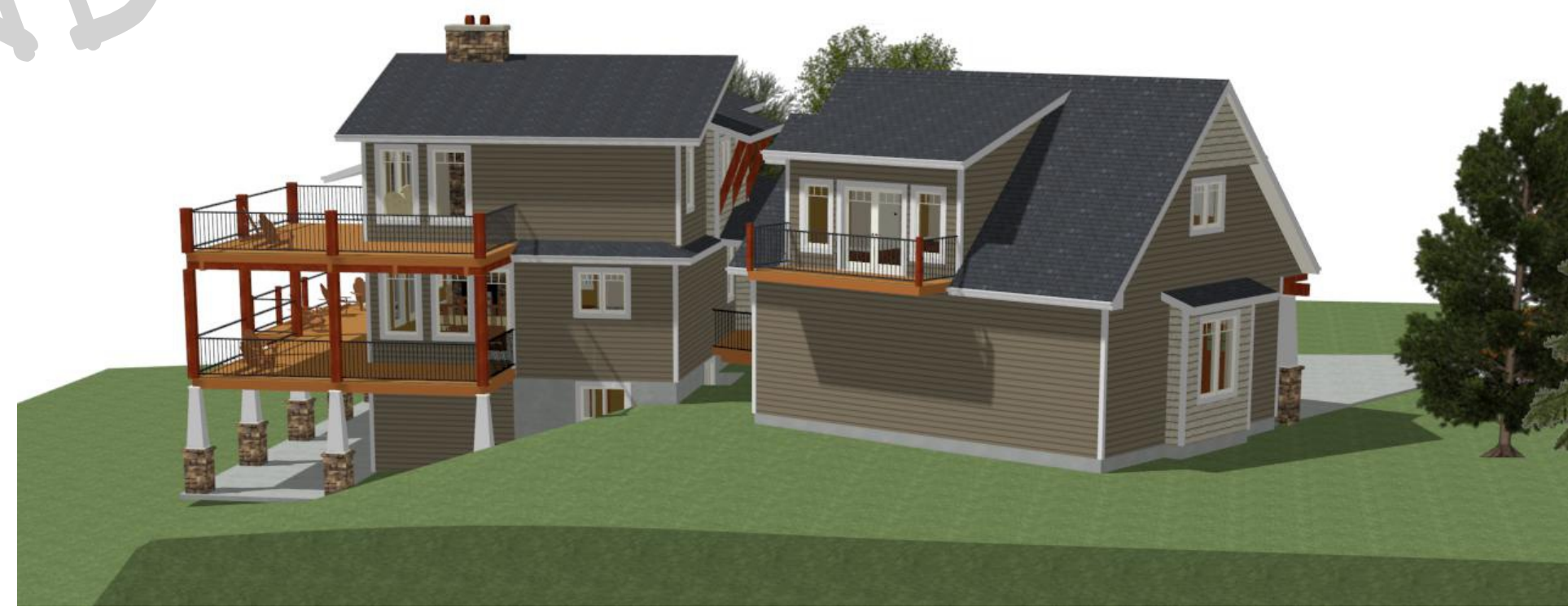
As shown  
**A-4**



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**LEFT ELEVATION**  
Elevation 4



**SQUARE FOOTAGE NOTE:**  
All areas labeled as OPEN TO BELOW are not included in LIVING AREA sq. footage  
All areas labeled as DECK, PATIO, VERANDA, or STORAGE, are not included in LIVING AREA sq. footage  
Areas labeled as GARAGE, SHOP, MECHANICAL AREA, or ATTIC, are not included in LIVING AREA sq. footage

**INTERIOR STAIRS, AND STAIR AREAS ARE INCLUDED IN LIVING AREA CALCULATION.**

**LIVING AREA IS CALCULATED FROM OUTSIDE EXTERIOR WALL SURFACES & CALCULATED AS MEASURED FROM EXTERIOR WALL SHEETING AS BEING 3/8" THICK**

**FLOOR PLAN DIMENSIONS NOTE:**  
All exterior dimensions are calculated from outside of exterior sheeting as being 3/8" thick  
All interior walls are calculated from edge of framed member  
All exterior windows & doors are calculated from center of units  
All interior doors and openings are calculated from center of units

**FLOOR PLAN WALL NOTE:**  
All exterior walls including GARAGE walls are framed 2x6 16" O/C stud framing  
Interior walls that are non load bearing are framed 2x4 16" O/C stud framing or 19.2" "in-line" framing  
Interior "hatched" walls are framed 2x6 "IN-LINE FRAMED" stud framing in-line with Floor joist layout  
Interior "mechanical" walls are framed 2x6 16" O/C or 19.2" "in-line" framing

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ELEVATIONS
PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
RESIDENCE FOR: WIGGINS FAMILY  
CUSTOMER: BUILDER  
LANDEN DESIGN  
Designer: GREG GONERLIK Phone: 402-674-7474 Email: greg@landendesign.com  
All work is subject to the terms and conditions of the agreement.



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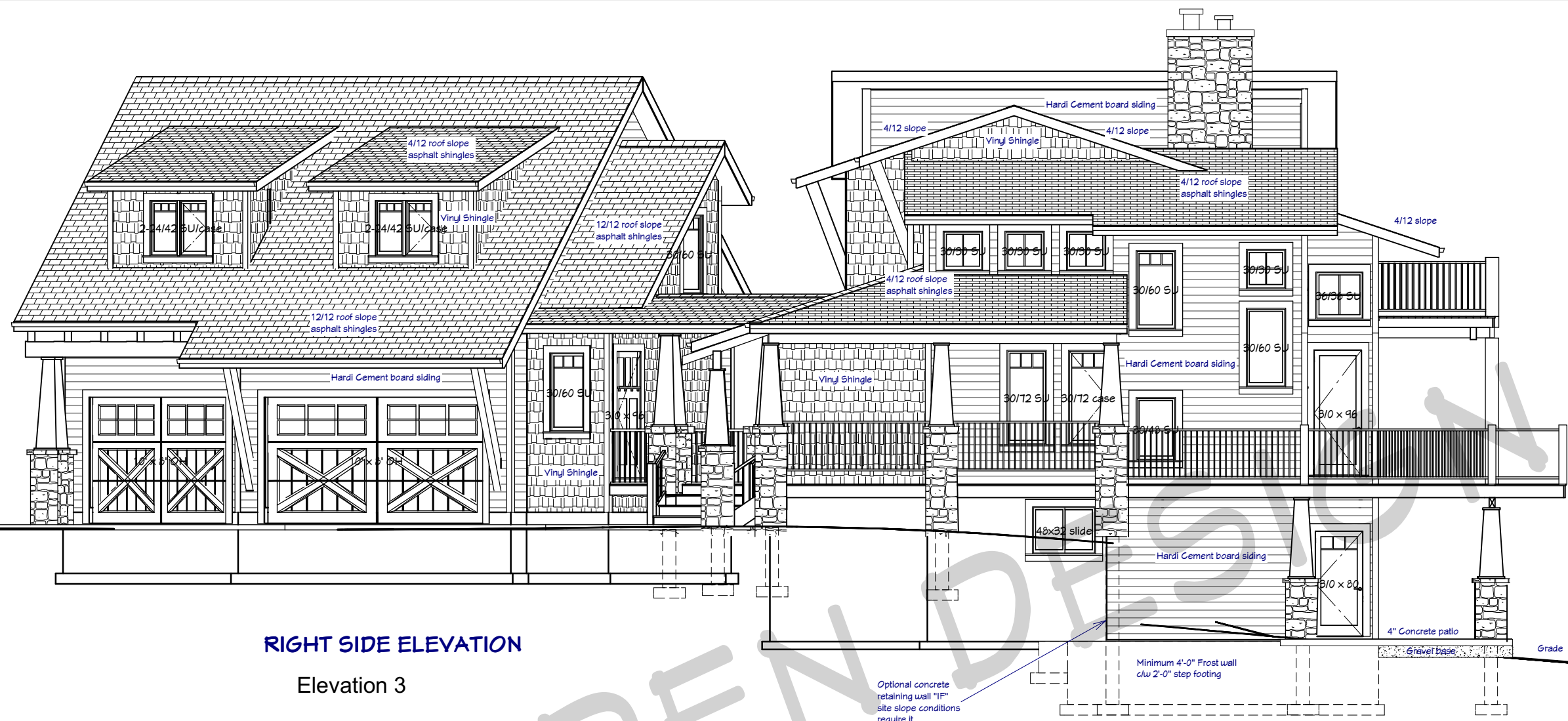
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As shown

**A-5**



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**RIGHT SIDE ELEVATION**  
 Elevation 3

- EXTERIOR FINISH NOTES:**
1. EXTERIOR FINISH TO BE FIBER CEMENT SIDING OVER 3/8 PLYWOOD/OSB WALL SHEETING. WINDOW & DOOR TRIM TO BE 5" x 1" THICK SMART TRIM, COLOR BY OWNER.
  2. ROOFING TO BE 30 YEAR ASPHALT OVER 30# FELT, OVER 3/8 PLYWOOD/OSB C/W ROOF CLIPS.
  3. DECKING TO BE TREX OR WOOD OR DURA-DECK. FINAL MATERIAL AND COLOR BY OWNER.
  4. CHIMNEY CHASE BOX'S SHOWN ON PLANS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY. MAY BE SUBSTITUTED FOR SIDING FINISH.
  5. DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE.
  6. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.
  7. RETAINING WALL REQUIREMENTS BY OTHER.

**GENERAL NOTES:**

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH NBC & ABC AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

THE DESIGNER ASSUMES NO LIABILITY FOR ANY DIMENSION DISCREPANCY NOR LIABILITY FOR ANY PLAN ERRORS, THE BUILDER / CONTRACTOR SHALL REPORT ANY PLAN ERRORS TO THE DESIGNER FOR PLAN CORRECTION PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

**BUILDING PERFORMANCE:**

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE NBC & ABC AND LOCAL CODES. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS, AND AREAS NOTED AS "OPEN TO BELOW" ARE NOT INCLUDED IN LIVING AREA. LIVING AREAS ARE CALCULATED TO THE EXTERIOR BUILDING DIMENSION AND INCLUDE STAIRWELL OPENINGS IN THE LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.



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**ELEVATIONS**  
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PROJECT: TWO STORY HOME  
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 CUSTOMER: BUILDER  
 LANDEN DESIGN  
 Designer: GREG GONDEK    Phone: 402-674-7474    Email: greg@landendesign.com  
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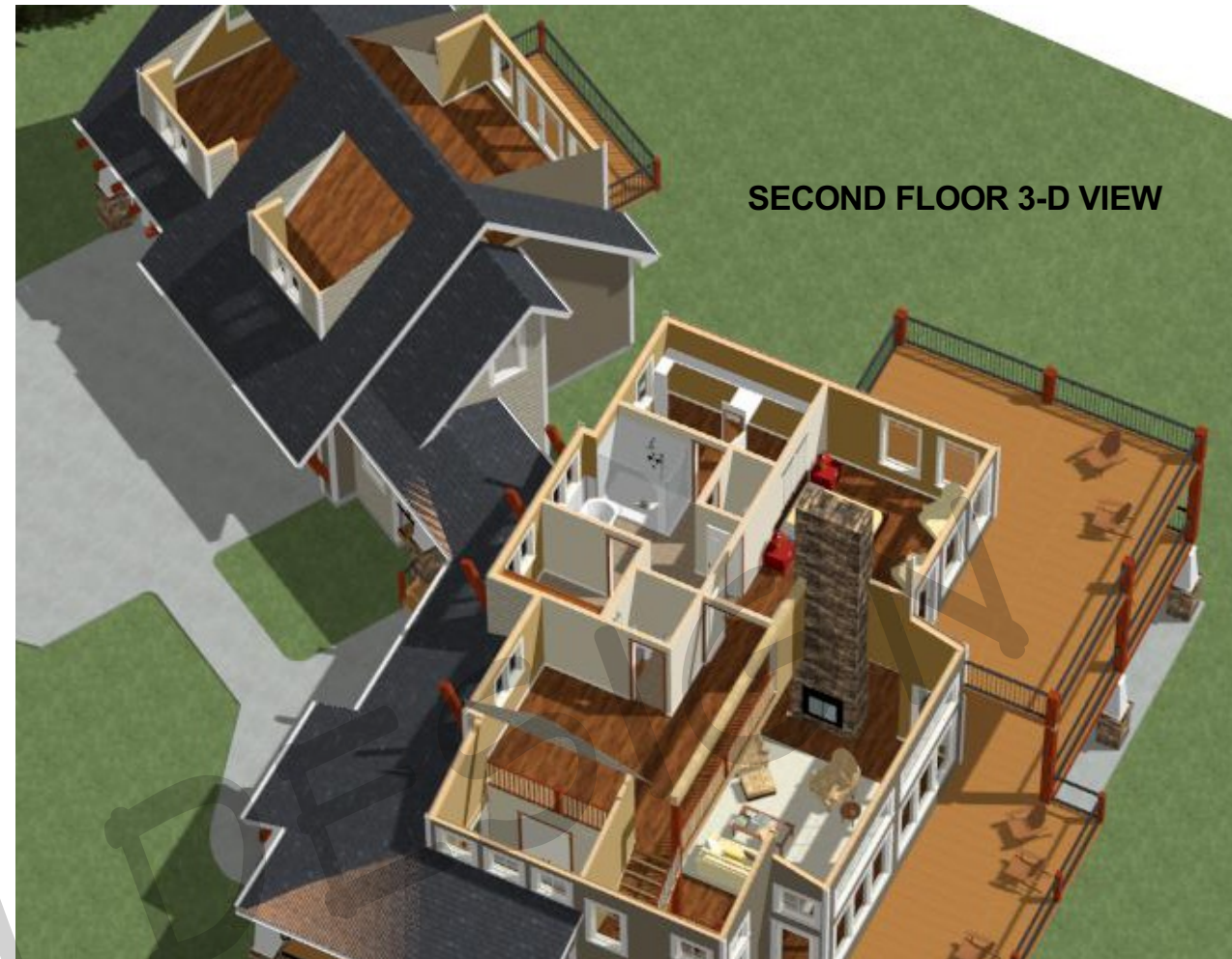


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 1/8"=1' or  
 As shown  
**A-6**





MAIN FLOOR 3-D VIEW



SECOND FLOOR 3-D VIEW



BASEMENT LEVEL 3-D VIEW



OVER HEAD ROOF 3-D VIEW

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3-D OVER VIEWS  
PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
RESIDENCE FOR: HIGGINS FAMILY  
CUSTOMER: BUILDER  
LANDEN DESIGN  
Designer: GREG GONERBUK Phone: 403-674-4141 Email: greg@landendesign.com  
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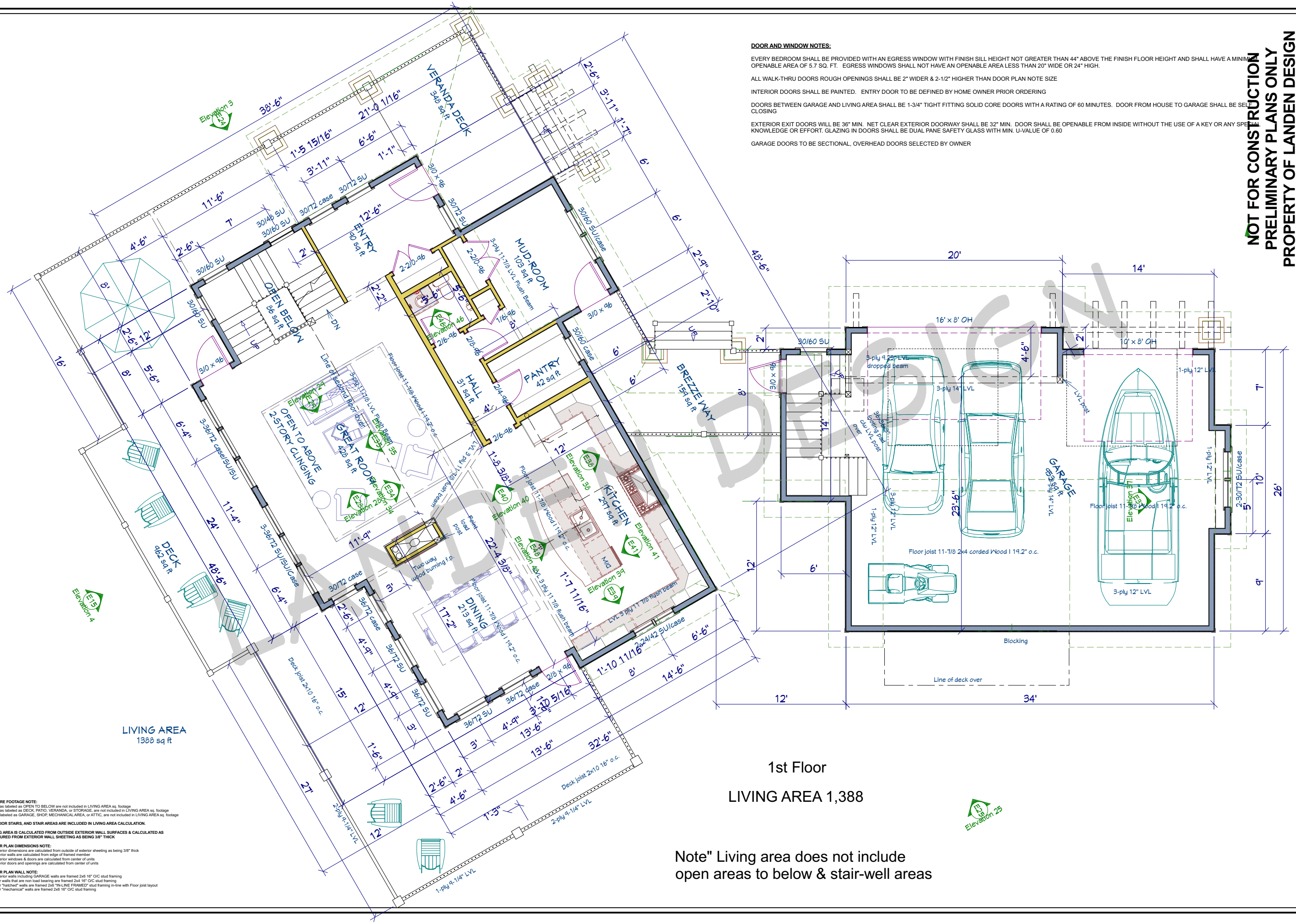
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As shown

A-7

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**DOOR AND WINDOW NOTES:**

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GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS SELECTED BY OWNER

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**MAIN FLOOR PLAN**

PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
 RESIDENCE FOR: MIGGINS FAMILY  
 CUSTOMER: BUILDER

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**A-8**

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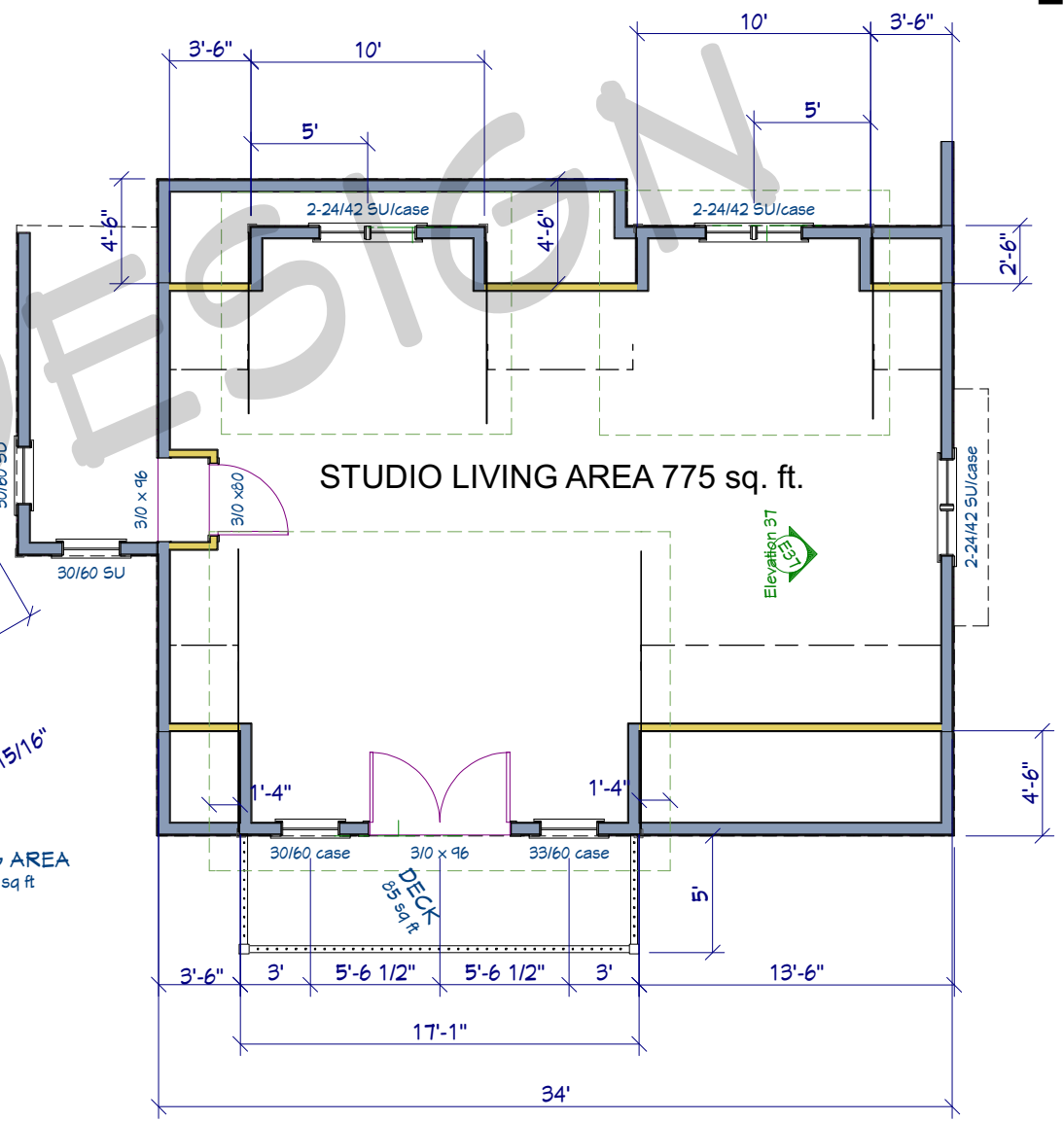
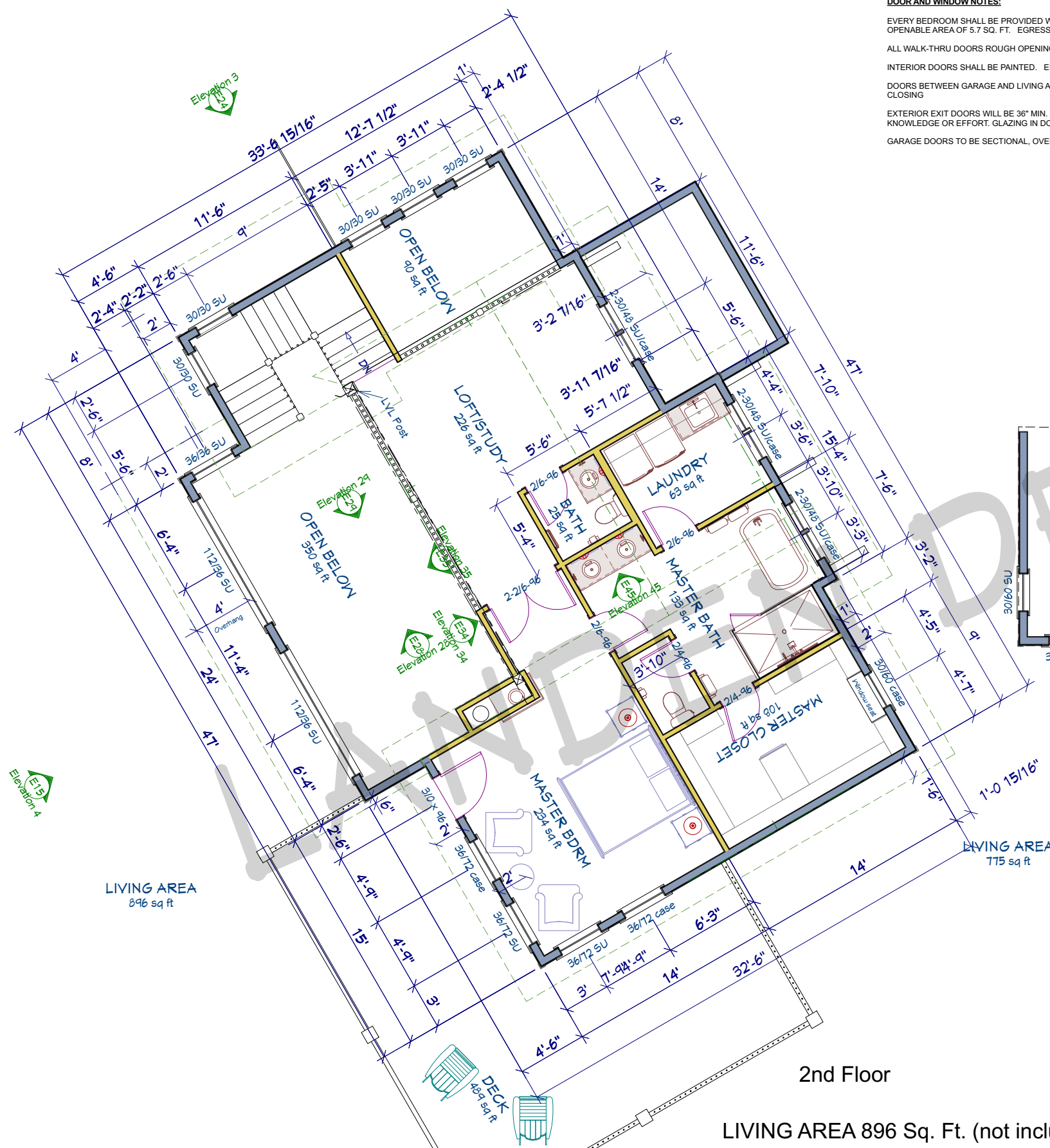
1st Floor  
 LIVING AREA 1,388

Note" Living area does not include open areas to below & stair-well areas



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**DOOR AND WINDOW NOTES:**  
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 GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS SELECTED BY OWNER



**2nd Floor**  
**LIVING AREA 896 Sq. Ft. (not including over garage studio area)**  
 Note" Living area does not include open areas to below & stair-well areas

NO.	DESCRIPTION	BY	DATE

**SECOND FLOOR PLAN**  
 PROJECT / SITE ADDRESS:

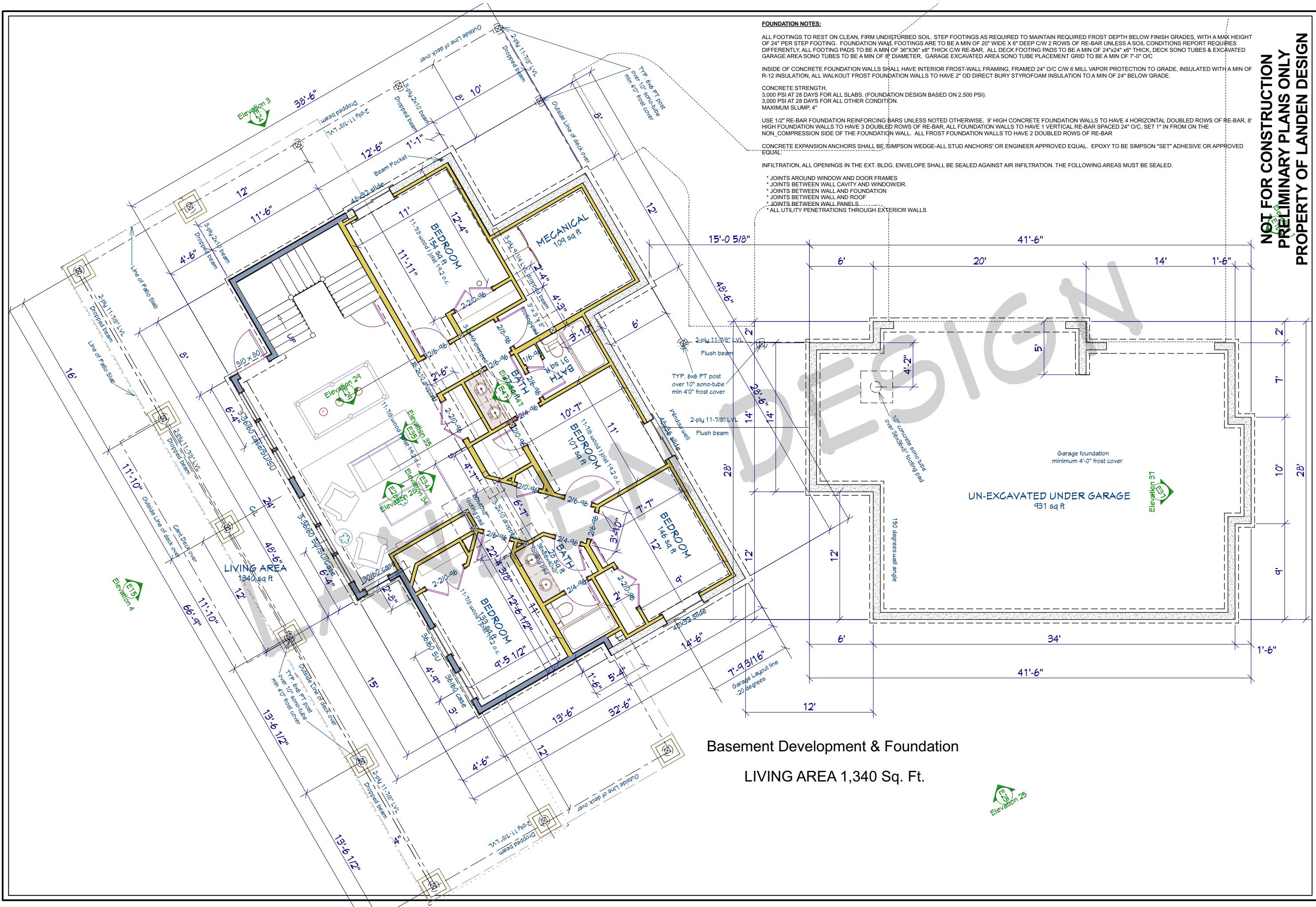
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**A-9**





**FOUNDATION NOTES:**

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS AS REQUIRED TO MAINTAIN REQUIRED FROST DEPTH BELOW FINISH GRADES, WITH A MAX HEIGHT OF 24" PER STEP FOOTING. FOUNDATION WALL FOOTINGS ARE TO BE A MIN OF 20" WIDE X 6" DEEP C/W 2 ROWS OF RE-BAR UNLESS A SOIL CONDITIONS REPORT REQUIRES DIFFERENTLY. ALL FOOTING PADS TO BE A MIN OF 36"x36" x8" THICK C/W RE-BAR. ALL DECK FOOTING PADS TO BE A MIN OF 24"x24" x6" THICK, DECK SONO TUBES & EXCAVATED GARAGE AREA SONO TUBES TO BE A MIN OF 8" DIAMETER. GARAGE EXCAVATED AREA SONO TUBE PLACEMENT GRID TO BE A MIN OF 7'-0" O/C

INSIDE OF CONCRETE FOUNDATION WALLS SHALL HAVE INTERIOR FROST-WALL FRAMING, FRAMED 24" O/C C/W 6 MILL VAPOR PROTECTION TO GRADE, INSULATED WITH A MIN OF R-12 INSULATION, ALL WALKOUT FROST FOUNDATION WALLS TO HAVE 2" OD DIRECT BURY STYROFOAM INSULATION TO A MIN OF 24" BELOW GRADE.

CONCRETE STRENGTH,  
 3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).  
 3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.  
 MAXIMUM SLUMP, 4"

USE 1/2" RE-BAR FOUNDATION REINFORCING BARS UNLESS NOTED OTHERWISE. 9" HIGH CONCRETE FOUNDATION WALLS TO HAVE 4 HORIZONTAL DOUBLED ROWS OF RE-BAR, 8" HIGH FOUNDATION WALLS TO HAVE 3 DOUBLED ROWS OF RE-BAR, ALL FOUNDATION WALLS TO HAVE 1 VERTICAL RE-BAR SPACED 24" O/C, SET 1" IN FROM ON THE NON-COMPRESSION SIDE OF THE FOUNDATION WALL. ALL FROST FOUNDATION WALLS TO HAVE 2 DOUBLED ROWS OF RE-BAR

CONCRETE EXPANSION ANCHORS SHALL BE SIMPSON WEDGE-ALL STUD ANCHORS OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- \* JOINTS AROUND WINDOW AND DOOR FRAMES
- \* JOINTS BETWEEN WALL CAVITY AND WINDOW/DR.
- \* JOINTS BETWEEN WALL AND FOUNDATION
- \* JOINTS BETWEEN WALL AND ROOF
- \* JOINTS BETWEEN WALL PANELS
- \* ALL UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

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**PROPERTY OF LANDEN DESIGN**

**Basement Development & Foundation**  
**LIVING AREA 1,340 Sq. Ft.**

NO.	DESCRIPTION	BY	DATE

**FOUNDATION PLAN**

PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
 RESIDENCE FOR: MIGGINS FAMILY  
 CUSTOMER: BUILDER

LANDEN DESIGN  
 Address: 1811 Box 10, Shaw, Ontario, AB T1S 1A2  
 Phone: 403-674-7474 | email: landen@landendesign.com  
 All plans are to be used without the written consent of the architect.



DATE:  
2/5/2018

SCALE:  
1/8"=1' or  
As shown

**A-10**



**CONSTRUCTION NOTES:**

**ROOF**

- ROOF PITCH / SLOPE AS SHOWN OF PLANS
- 30 YEAR ASPHALT LAMINATED TEXTURED SHINGLES
- 30 LBS ROOFING FELT PAPER
- EVE / VALLEY PROTECTION ICE&WATER BARRIER
- 3/8 PLYWOOD OR OSB SHEETING C/W ROOF CLIPS 1/8" GAP BETWEEN SHEETS
- ROOF TRUSS / ROOF FRAMING 24" O/C C/W 10" ENERGY HEEL
- APPROVED INSULATION STOP AT EXTERIOR WALL / EVE
- 2X6 #2 SPRUCE ROUGH FASCIA
- 18" ALUMINUM SOFFIT / C/W 6" ALUMINUM FASCIA
- 5" ALUMINUM GUTTER C/W DOWN PIPE AS REQUIRED
- R-40 BLOWN ATTIC INSULATION IN OPEN WEB TRUSS AREAS
- R-40 BATT INSULATION IN OTHER ROOF AREAS
- 6 MILL VAPOR BARRIER
- 1/2" DC DRYWALL BOARD ON ALL CEILINGS
- TEX / FINISH

**EXTERIOR WALLS**

- EXTERIOR FINISH AS PER ELEVATIONS
- 60 MIN BUILDING PAPER / ENVELOPE
- 3/8 PLYWOOD OR OSB SHEETING C/W MIN 1/8" GAP BETWEEN SHEETS
- SPRUCE #2 2X6 STUD FRAMING 24" O/C
- WINDOW AND DOOR HEADERS TO BE 2-2X10 #2 SPRUCE (UNLESS OTHERWISE NOTED ON PLANS)
- R-20 BATT INSULATION
- 6 MILL PLOY VAPOR BARRIER
- 1/2 DRYWALL
- PAINT FINISH

**INTERIOR WALLS**

- PAINT FINISH
- 1/2" DRYWALL
- 2X4 #2 SPRUCE STUD FRAMING 16" O/C
- BEARING WALLS 2X6 #2 SPRUCE STUD FRAMING 16" O/C OR 19.2" FOR IN-LINE JOIST TO WALL FRAMING
- HOUSE TO GARAGE WALL 2X6 #2 SPRUCE STUD FRAMING 16" O/C
- MECHANICAL IN WALL CAVITY WHERE NEEDED
- 1/2" DRYWALL
- PAINT FINISH

**FOUNDATION FROST WALL FRAMING**

- 1/2" DRYWALL
- 6 MILL POLY VAPOR BARRIER
- MIN R-12 BATT INSULATION
- 2X4 #2 SPRUCE STUD FRAMING MIN 24" O/C (IF DEVELOPED BASEMENT FRAME TO 16" O/C)
- 6 MILL POLY MOISTURE BARRIER TO GRADE
- BOTTOM WALL PLATE TO BE PRESSURE TREATED / NILED WITH GALVANIZED OR STAINLESS STEEL NAILS

**INTERIOR BASEMENT DEVELOPMENT WALL FRAMING**

- SAME SPEC AS INTERIOR MAIN AND SECOND FLOOR WALL FRAMING
- BOTTOM WALL PLATE TO BE PRESSURE TREATED / NAILED WITH GALVANIZED OR STAINLESS STEEL NAILS

**FLOORS**

- FLOOR FINISH AS PER OWNER
- 3/4" T&G PLYWOOD OR T&G OSB SHEETING C/W 1/8" GAP AT JOINTS
- SUB FLOORING PL G/LUED & SCREWED WITH A MIN 8" SCREW SPACING
- 12" WOOD "I" JOIST @ 19.2" O/C (OR AS SETOUT IN MANUFACTURES LAYOUT)
- 1/2 DRYWALL ON CEILING SIDE OF DEVELOPED AREAS
- FLOORS OVER GARAGE AREAS TO HAVE A FRAMED 2X4 DROPPED CEILING A MIN OF 12" BELOW "I" JOIST
- FLOORS OVER GARAGE AREAS TO BE INSULATED IN DROPPED AREA WITH MIN R-30 BATT INSULATION
- C/W 6 MILL VAPOR BARRIER ON WARM SIDE OF DROPPED FLOOR AREA, 4" HEAT RUNS TO BE PLACED IN DROPPED AREA C/W R/A DUCTING

**FOUNDATION WALLS**

- 8" THICK MIN 30 MPA CONCRETE C/W RE-BAR (SEE RE-BAR NOTE)
- PLACED OVER A MIN OF 20" WIDE BY 6" CONTINUOUS CONCRETE FOOTING C/W RE-BAR
- MIN OF 4'-0" FROST COVERAGE
- STEP FOOTING WHERE REQUIRED NOT TO EXCEED 24" HIGH PER STEP FOOTING
- FROST FOUNDATION WALLS TO HAVE A MIN OF 24" DEEP 2" THICK DIRECT BURY STYROFOAM INSULATION
- 4" PLASTIC PERFORATED WEeping TILE COVERED WITH A MIN OF 12" OF WASHED GRAVEL, HOOKED UP TO A DRY-WELL OR OTHER DRAINAGE

**BASEMENT FLOOR**

- 3" MIN 25 MPA CONCRETE FLOOR SLAB C/W WIRE MESS REINFORCEMENT
- IN FLOOR HEAT PIPING AS REQUIRED (SEE OWNER / CUSTOMER SPEC)
- 6 MILL MOISTURE / SOIL-GAS BARRIER
- 6" WASHED GRAVEL C/W WEeping TILE CONNECTIONS
- 1/2 12" O/C RE-BAR PLACED OVER DISTURBED SOIL AREAS (WALK-OUT FROST WALL AREAS)

**GARAGE FLOOR SLAB**

- 4" MIN 30 MPA DURA MIX SLAB C/W 1/2 RE-BAR ON A 24" SPACED GRID
- SLOPE SLAB MIN OF 3" TOWARD OVERHEAD DOORS
- CRUSH GAVEL
- 8" SONO TUBES ON A 7'-0" GRID (IF PLACING SLAB OVER DISTURBED BACK-FILL SOIL)

**RAILING NOTES:**

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. TREAD DEPTH OF 9". STAIR TREADS & RISER MUST BE OF UNIFORM SIZE

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

INTERIOR FLOOR LEVEL RAILING SHALL HAVE A MIN HEIGHT OF 36". INTERIOR STIR RAILING SHALL HAVE VERTICAL HIGH MEASURED FROM THE TREAD NOISING OF 34"

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 1/2" GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 3" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST

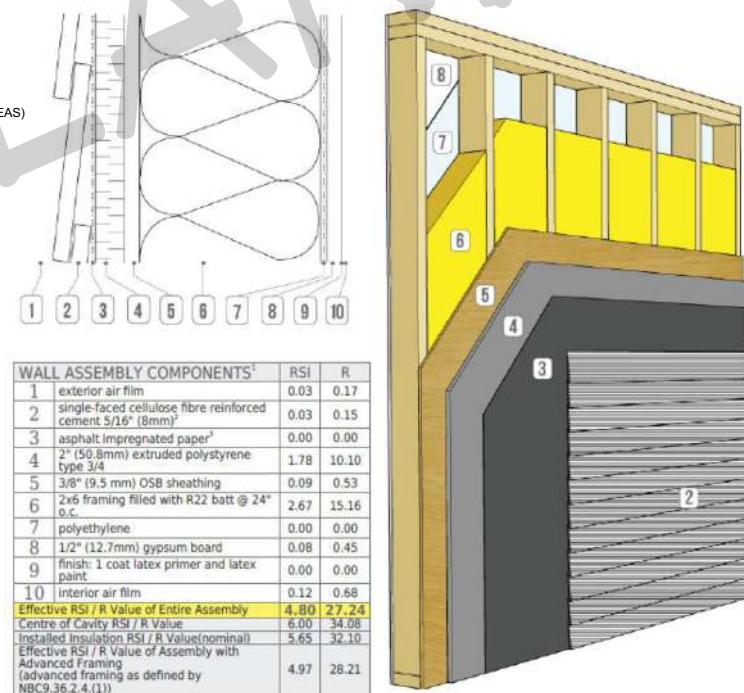
STAIRWAYS HAVING LESS THAN 3 RISERS WILL NOT REQUIRE A HAND RAIL.

42" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT ALL PORCHES, DECKS, BALCONIES, EXTERIOR STAIRWAYS AND EXTERIOR LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

Elevation 28

Elevation 29



TYP WALL DETAIL

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 PRELIMINARY PLANS ONLY  
 PROPERTY OF LANDEN DESIGN**

**CROSS SECTION VIEWS**

PROJECT: TWO STORY HOME  
 RESIDENCE FOR: WIGGINS FAMILY  
 CUSTOMER: BUILDER  
 LANDEN DESIGN  
 Designer: GREG GONERUEK Phone: 403-674-7474 Email: greg@landendesign.com  
 All drawings are subject to change without the written consent of the designer.



DATE:

2/5/2018

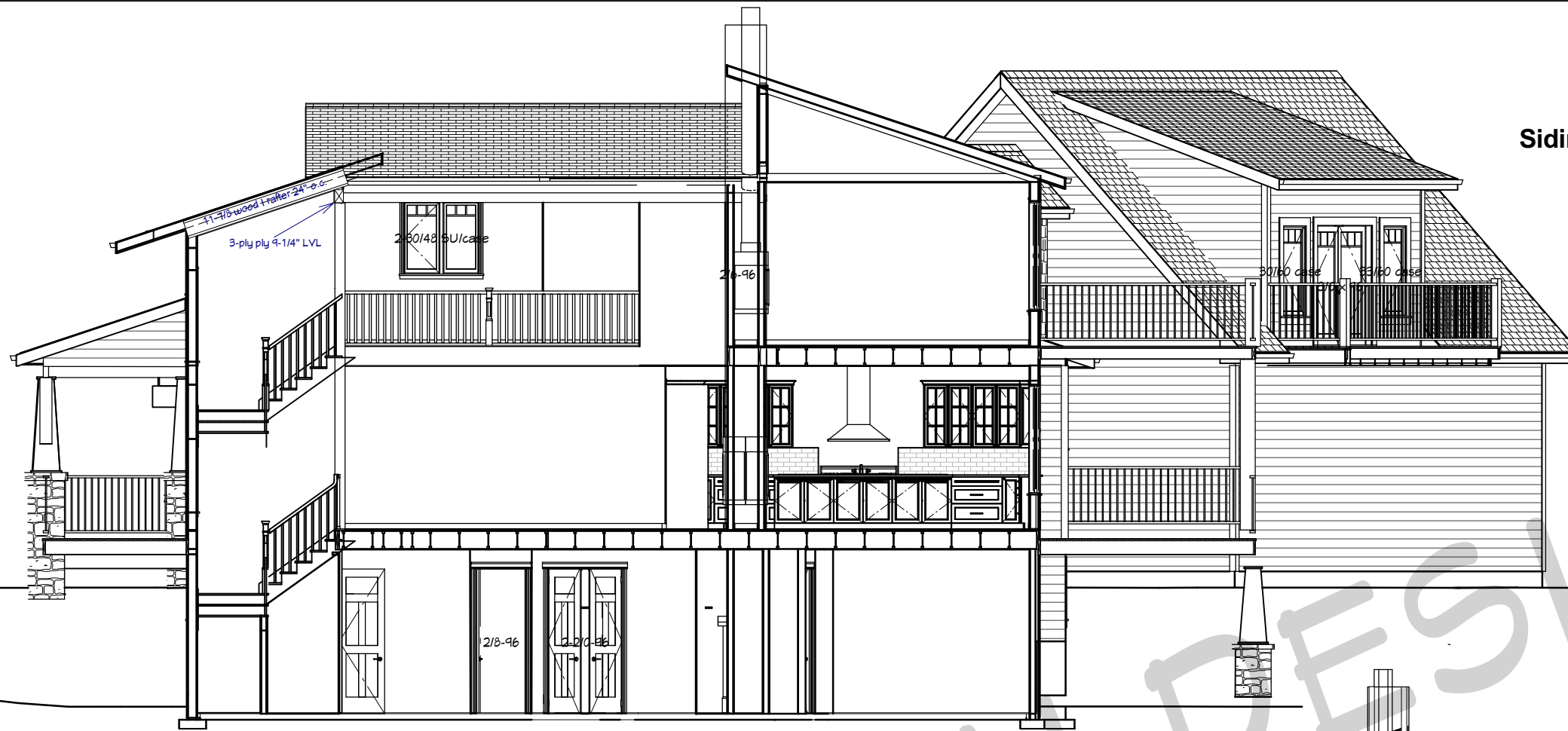
SCALE:

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As shown

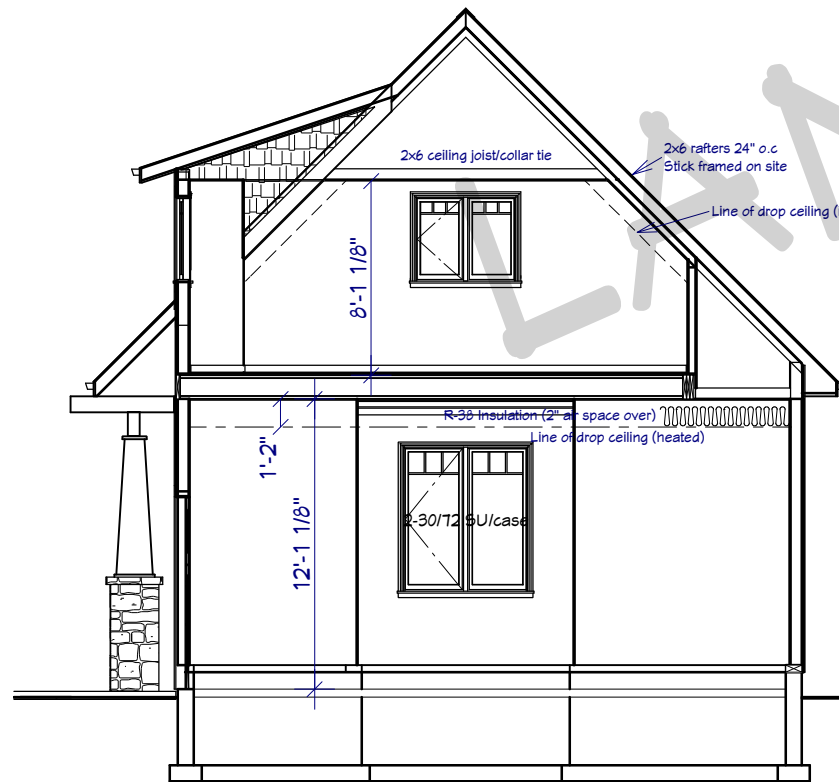
**A-11**



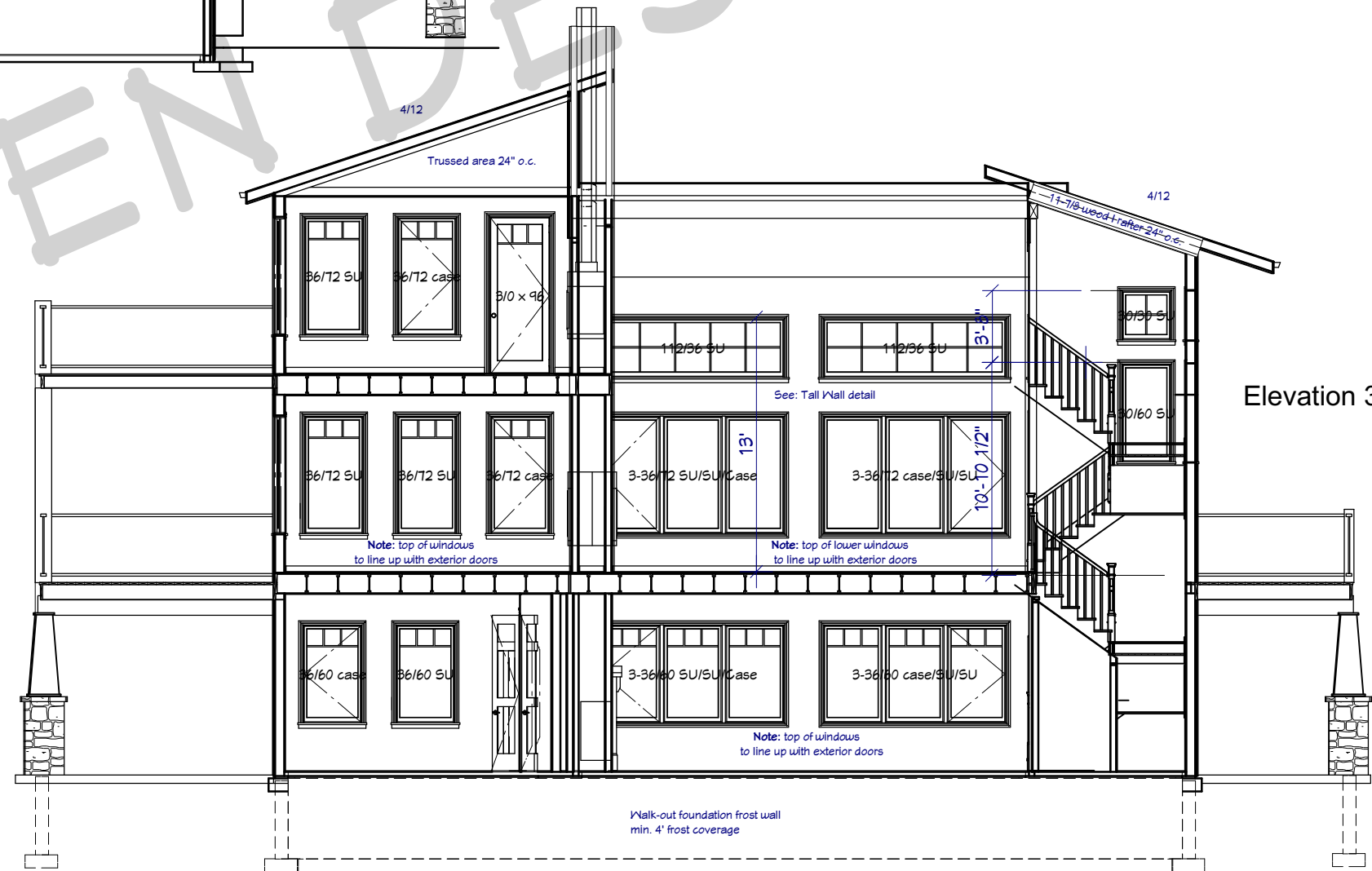


Siding wall areas: 5,659 sq ft net of windows

Elevation 34



Elevation 37



Elevation 35

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PRELIMINARY PLANS ONLY  
PROPERTY OF LANDEN DESIGN**

**CROSS SECTION VIEWS**

PROJECT / SITE ADDRESS:  
NO. DESCRIPTION BY DATE

PROJECT: TWO STORY HOME  
RESIDENCE FOR: HIGGINS FAMILY  
CUSTOMER: BUILDER



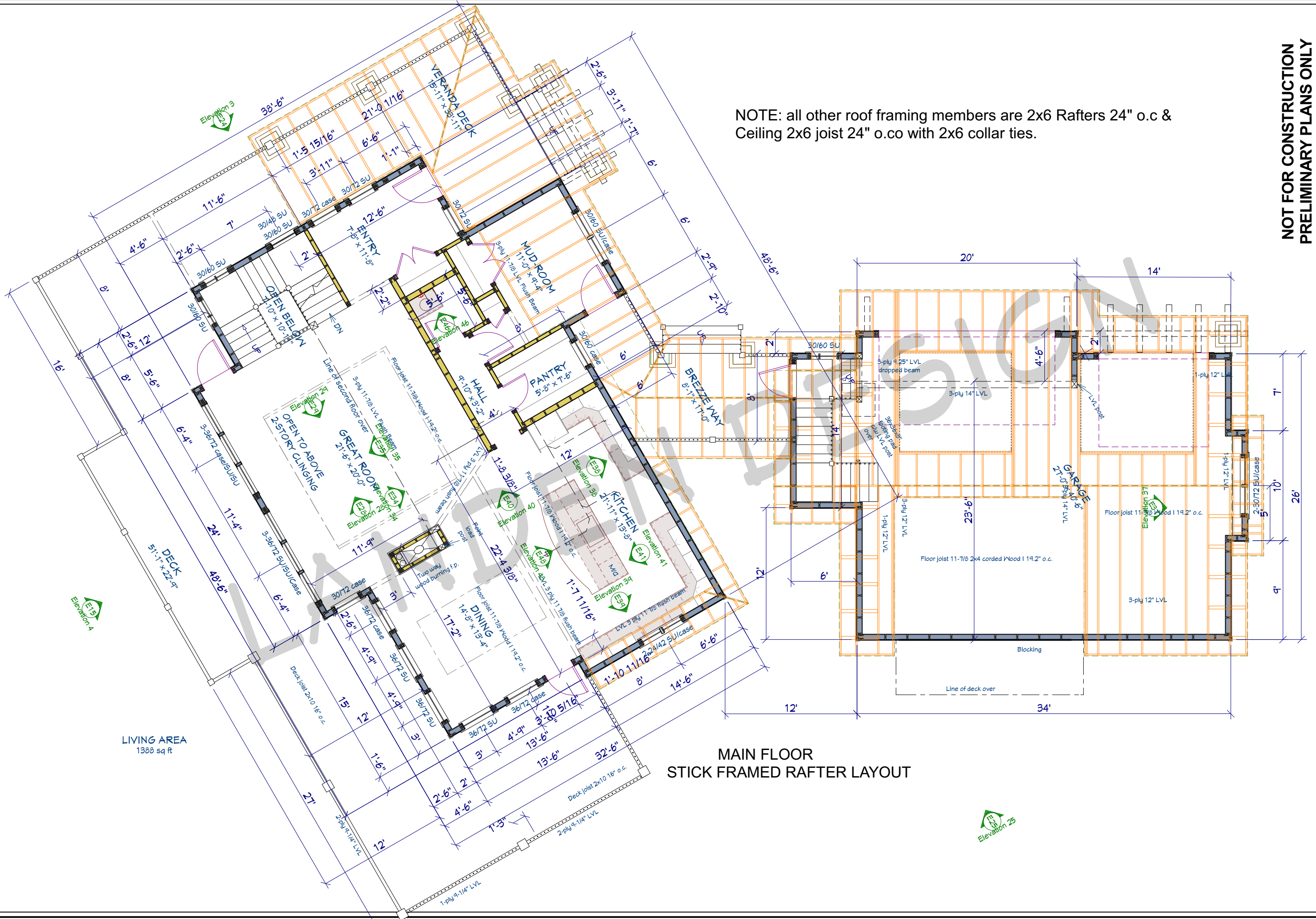
DATE:  
2/5/2018

SCALE:  
1/8"=1' or

As shown

**A-12**





NOTE: all other roof framing members are 2x6 Rafters 24" o.c. & Ceiling 2x6 joist 24" o.c. with 2x6 collar ties.

MAIN FLOOR  
STICK FRAMED RAFTER LAYOUT

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NO.	DESCRIPTION	BY	DATE

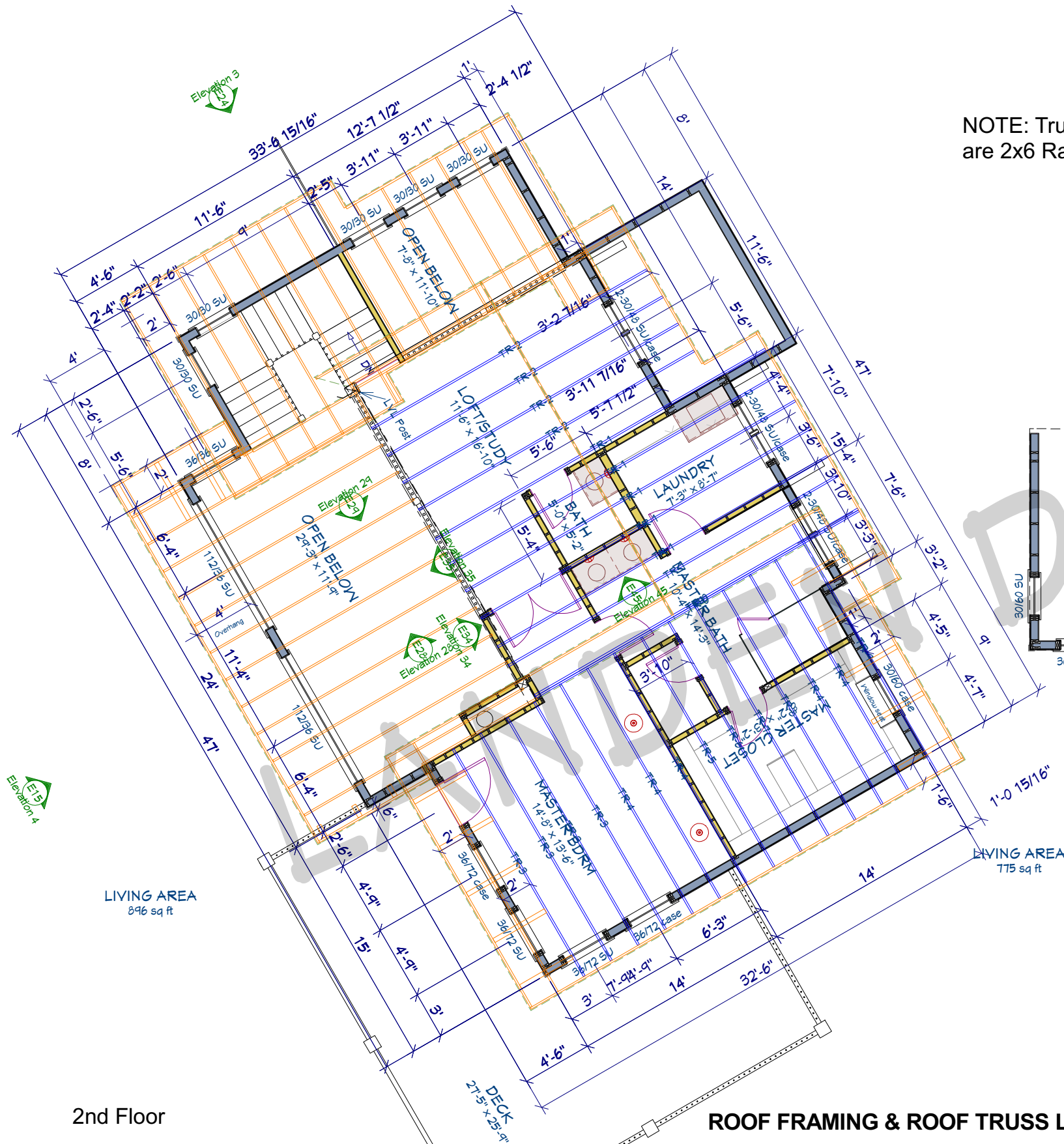
PROJECT: TWO STORY HOME  
RESIDENCE FOR: MIGGINS FAMILY  
CUSTOMER: BUILDER  
LANDEN DESIGN  
Address: 1811 Hwy 10, Suite 2, Orono, ME 04471  
Phone: 402-674-7474  
Email: landendesign@gmail.com  
All work is subject to the terms and conditions of the contract.

MAIN FL.  
ROOF FRAMING  
PROJECT / SITE ADDRESS:

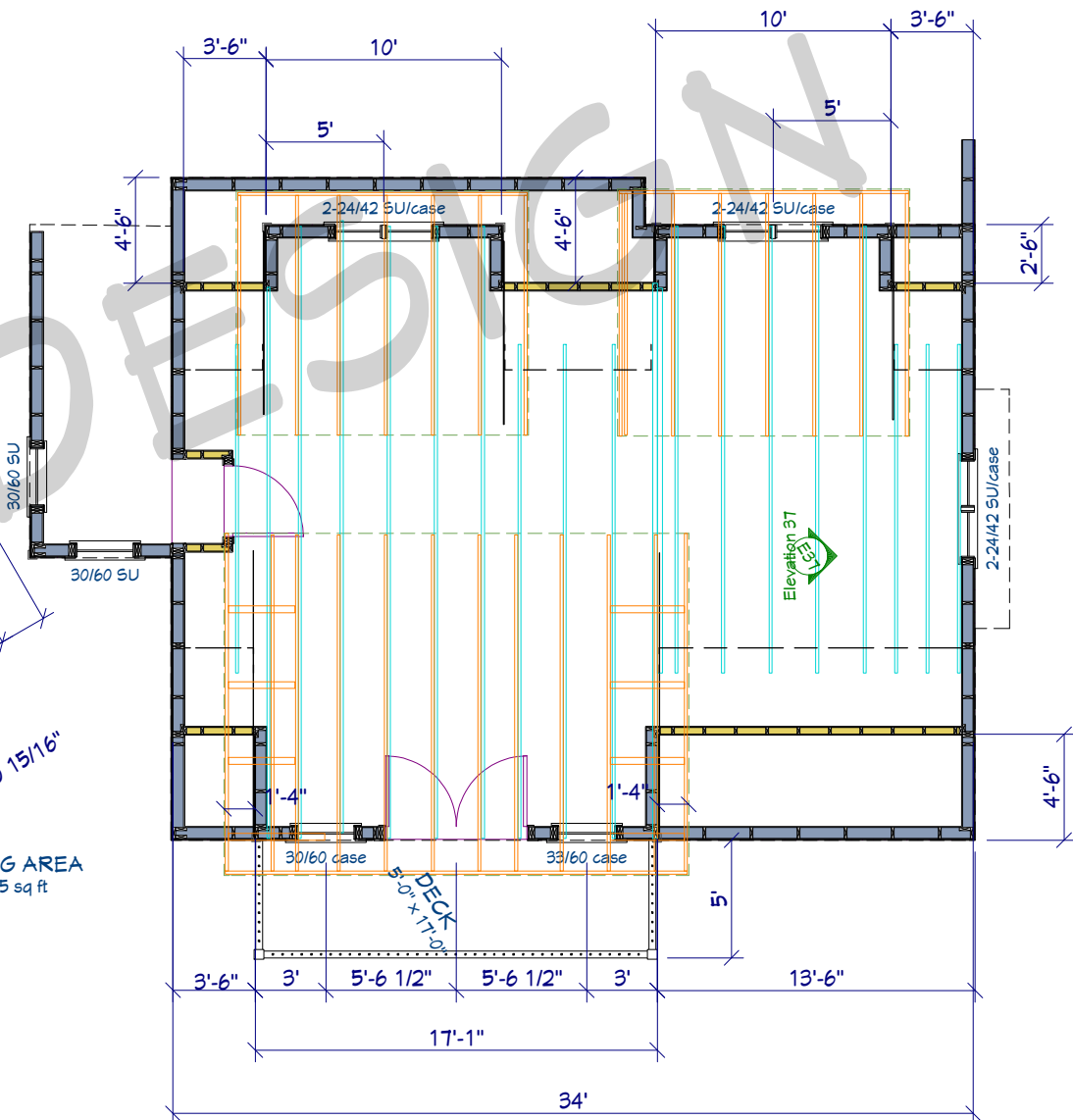


DATE:  
2/5/2018  
SCALE:  
1/8"=1' or  
As shown  
**A-13**





NOTE: Trusses are indicated by a "T-number" all other roof framing members are 2x6 Rafters 24" o.c & Ceiling 2x6 joist 24" o.c. with 2x6 collar ties.



ROOF FRAMING & ROOF TRUSS LAYOUT

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 PRELIMINARY PLANS ONLY  
 PROPERTY OF LANDEN DESIGN

NO.	DESCRIPTION	BY	DATE

SECOND FL  
 ROOF FRAMING  
 PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
 RESIDENCE FOR: MIGGINS FAMILY  
 CUSTOMER: BUILDER  
 LANDEN DESIGN  
 Designer: GREG GONERLIK Phone: 409-474-7474 Email: greg@landendesign.com  
 All plans are submitted without the written consent of the architect.



DATE:  
2/5/2018

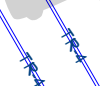
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As shown

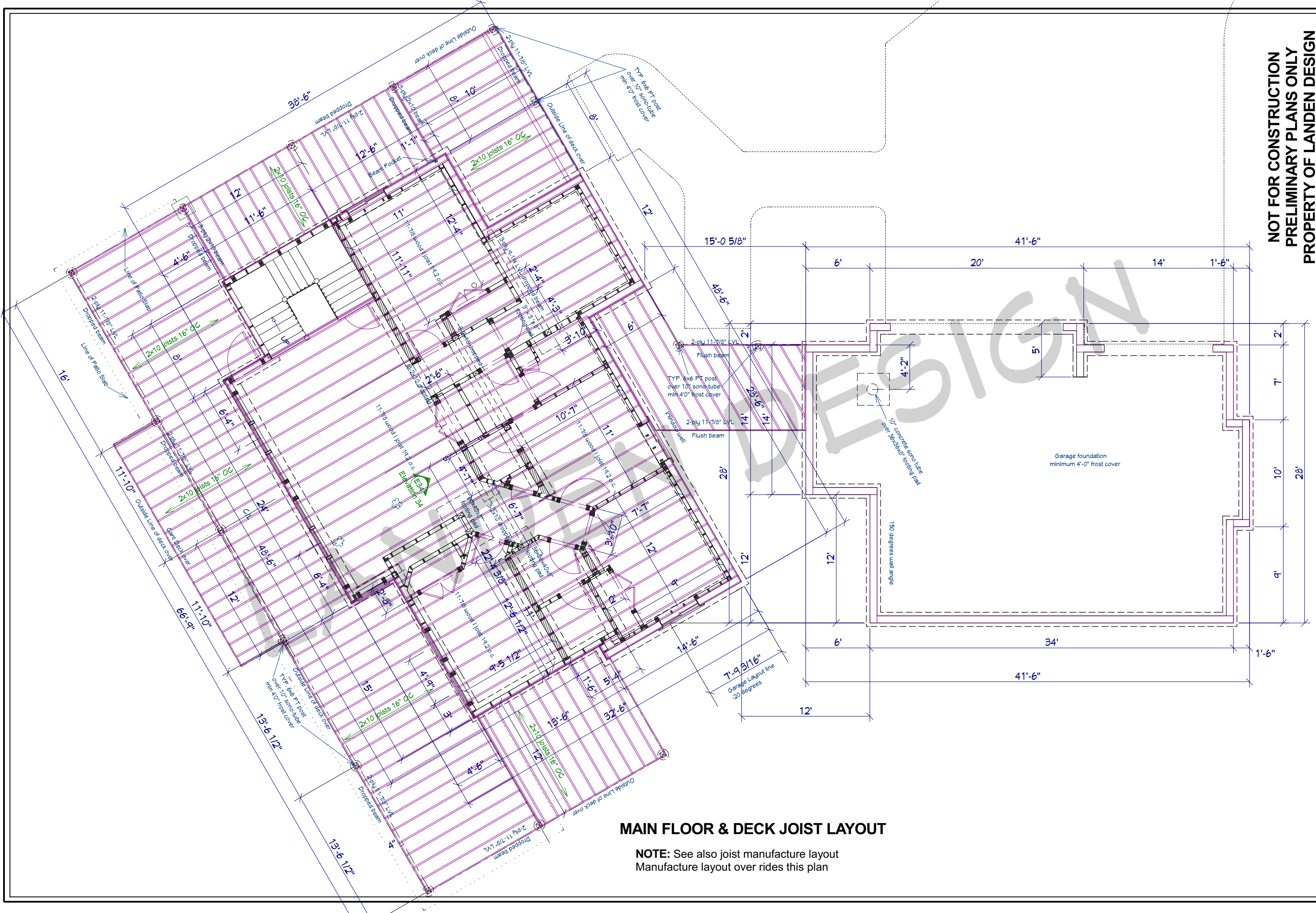
2nd Floor

LIVING AREA  
896 sq ft

LIVING AREA  
775 sq ft







**MAIN FLOOR & DECK JOIST LAYOUT**

**NOTE:** See also joist manufacture layout  
 Manufacture layout over rides this plan

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**FLOOR JOIST MAIN FL.**

NO.	DESCRIPTION	BY	DATE

PROJECT: TWO STORY HOME  
 RESIDENCE FOR: HIGGINS FAMILY  
 CUSTOMER: BUILDER  
 LANDEN DESIGN  
 Designer: GREG GONERBEK Phone: 402-674-7474 Email: greg@landendesign.com  
 All plans are to be read in conjunction with the written contract of this agreement.



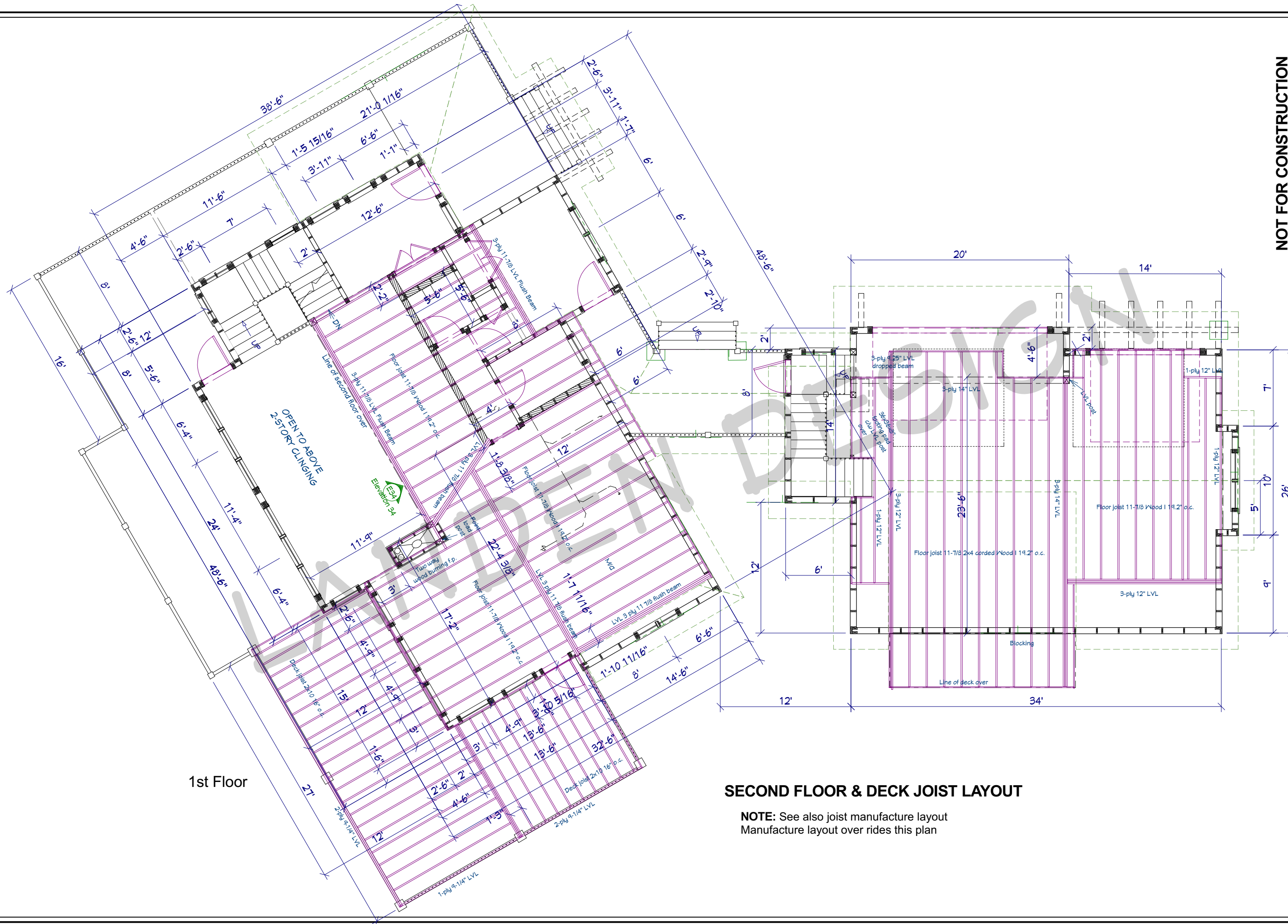
DATE:  
2/5/2018

SCALE:  
1/8"=1' or

As shown

**A-15**





1st Floor

**SECOND FLOOR & DECK JOIST LAYOUT**

**NOTE:** See also joist manufacture layout  
 Manufacture layout over rides this plan

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NO.	DESCRIPTION	BY	DATE

**FLOOR JOIST 2nd FL.**  
 PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
 RESIDENCE FOR: MIGGINS FAMILY  
 CUSTOMER: BUILDER  
 LANDEN DESIGN  
 Designer: GREG GONERLIK Phone: 402-474-7474 Email: greg@landendesign.com  
 All work is authorized without the written consent of the designer.



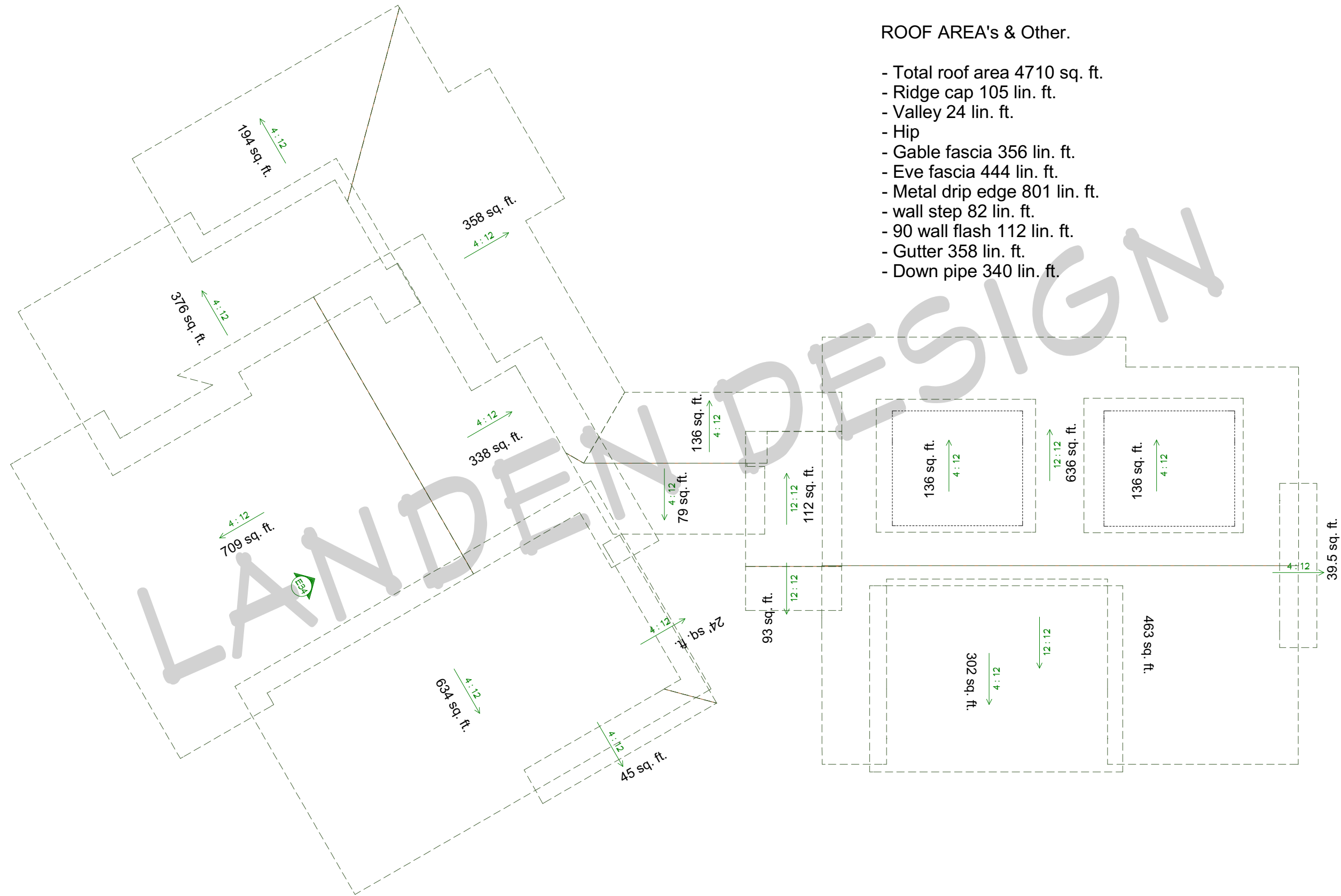
DATE:  
 2/5/2018

SCALE:  
 1/8"=1' or

As shown

**A-16**





ROOF AREA's & Other.

- Total roof area 4710 sq. ft.
- Ridge cap 105 lin. ft.
- Valley 24 lin. ft.
- Hip
- Gable fascia 356 lin. ft.
- Eve fascia 444 lin. ft.
- Metal drip edge 801 lin. ft.
- wall step 82 lin. ft.
- 90 wall flash 112 lin. ft.
- Gutter 358 lin. ft.
- Down pipe 340 lin. ft.

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NO.	DESCRIPTION	BY	DATE

**ROOF PLAN VIEW**  
PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
RESIDENCE FOR: MIGGINS FAMILY  
CUSTOMER: BUILDER  
LANDEN DESIGN  
Designer: GREG GONERLIK Phone: 402-674-7474 Email: greg@landendesign.com  
Address: 8811 Box 93 Hwy 2, Oshtemo, IA 51151-142  
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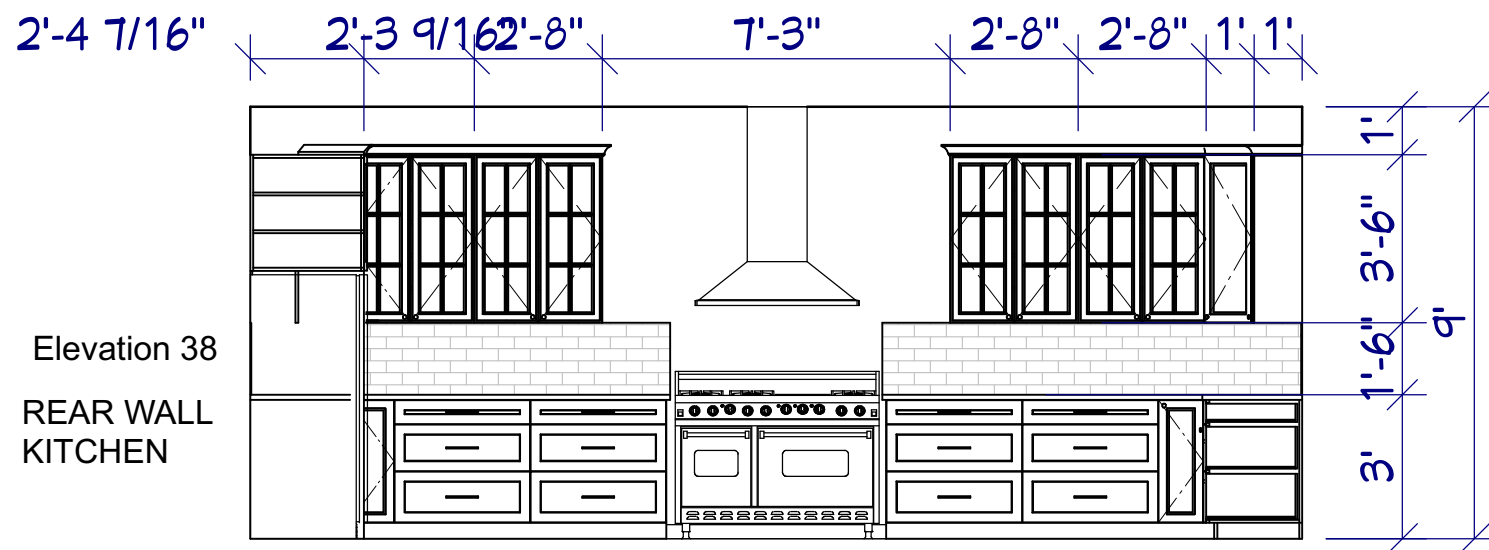


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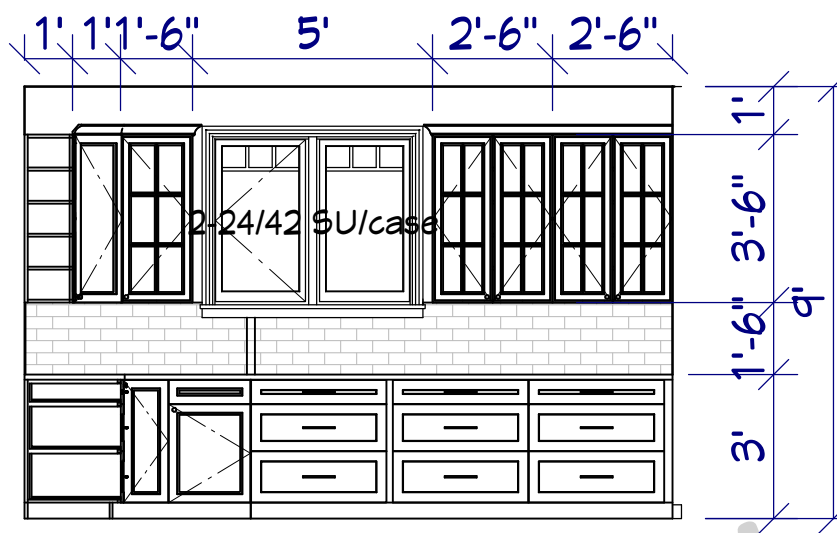
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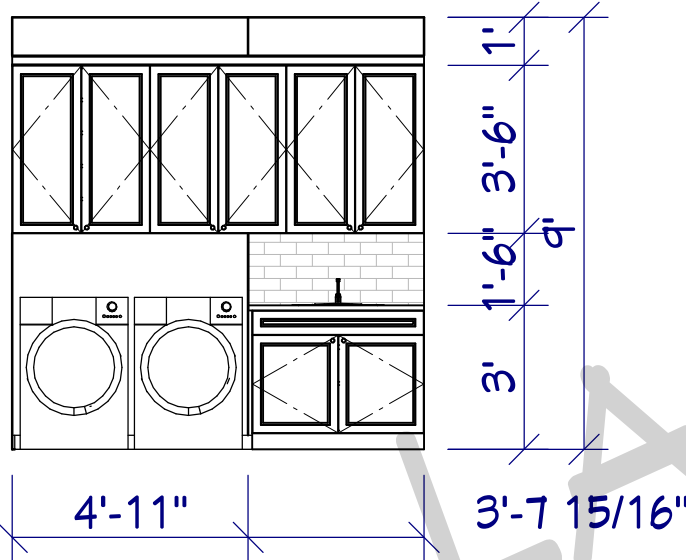
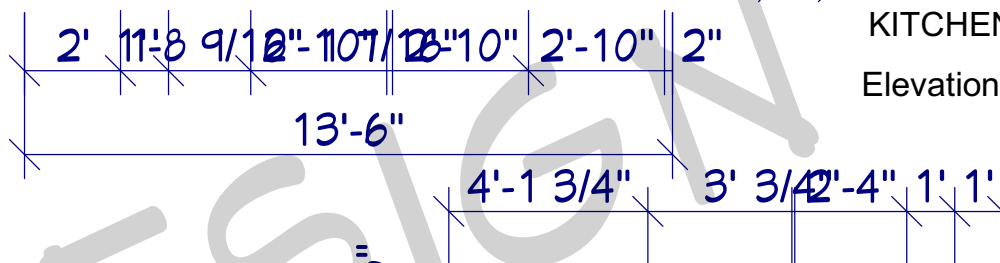
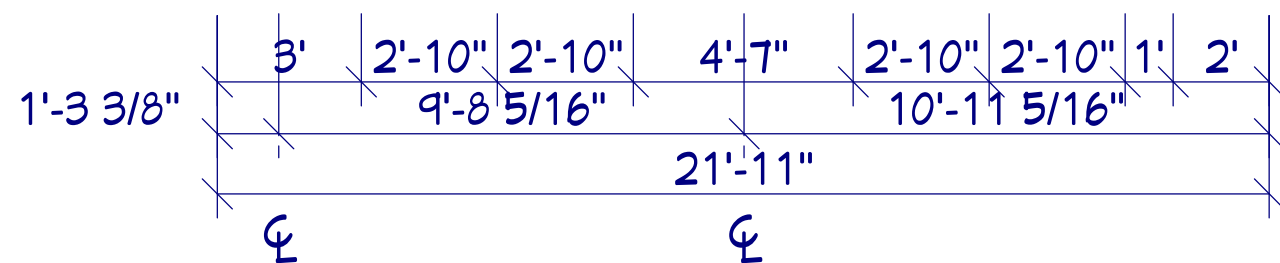




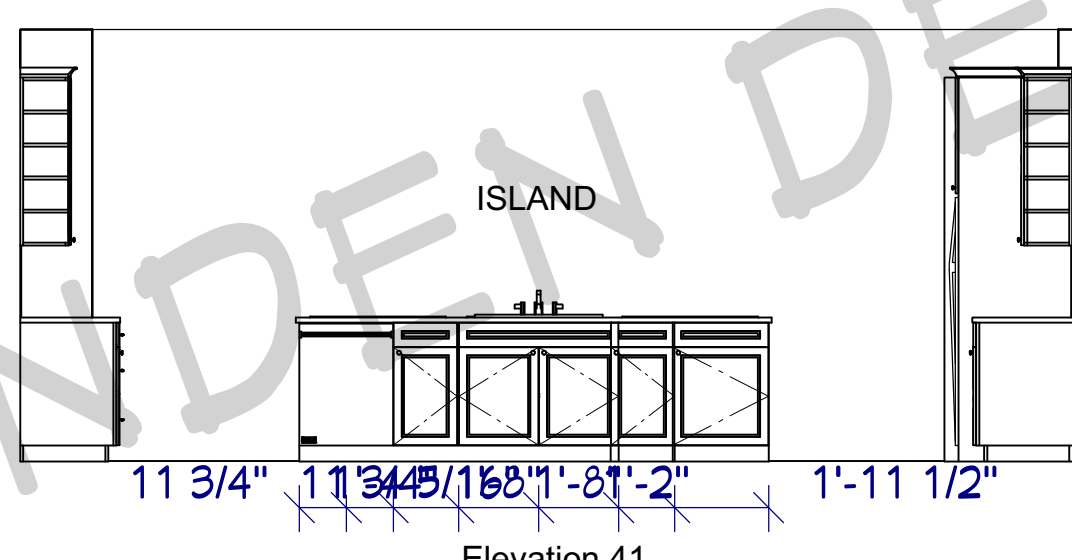
Elevation 38  
REAR WALL  
KITCHEN



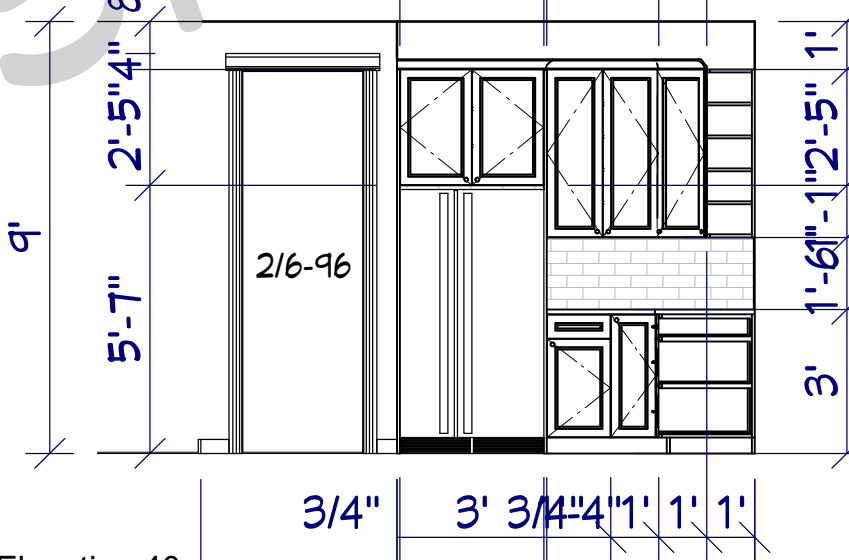
WINDOW WALL  
KITCHEN  
Elevation 39



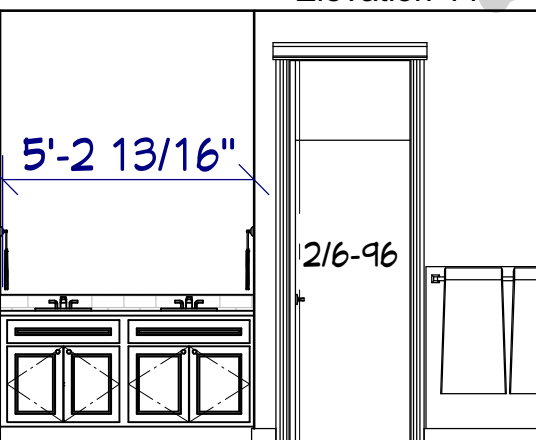
Elevation 44



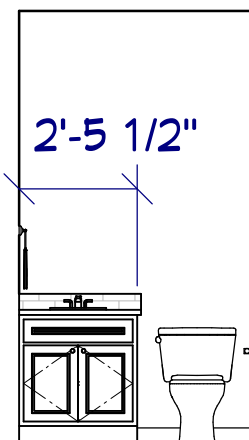
Elevation 41



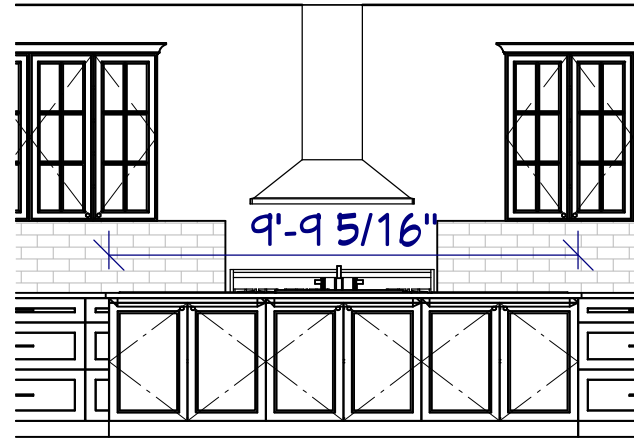
Elevation 40



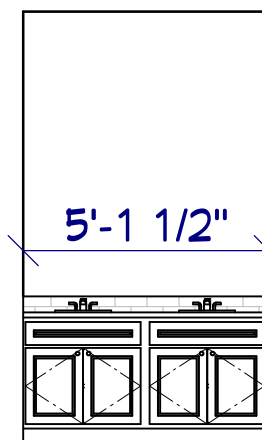
Elevation 45  
Master Bath



Elevation 46  
UPPER & MAIN POWDER



Elevation 48  
BACK SIDE ISLAND



Elevation 47  
BASEMENT BATH'S

NOTE: Cabinet Elevations are 1/4"=1'-0"

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PRELIMINARY PLANS ONLY  
PROPERTY OF LANDEN DESIGN

CABINET DETAILS

PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
RESIDENCE FOR: WIGGINS FAMILY  
CUSTOMER: BUILDER  
LANDEN DESIGN  
Address: 101 Box 10, Shawmut, ME 04076  
Phone: 402-674-7474  
Email: landendesign@gmail.com  
This work is submitted without the written consent of the architect.



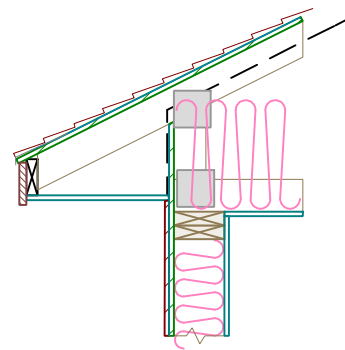
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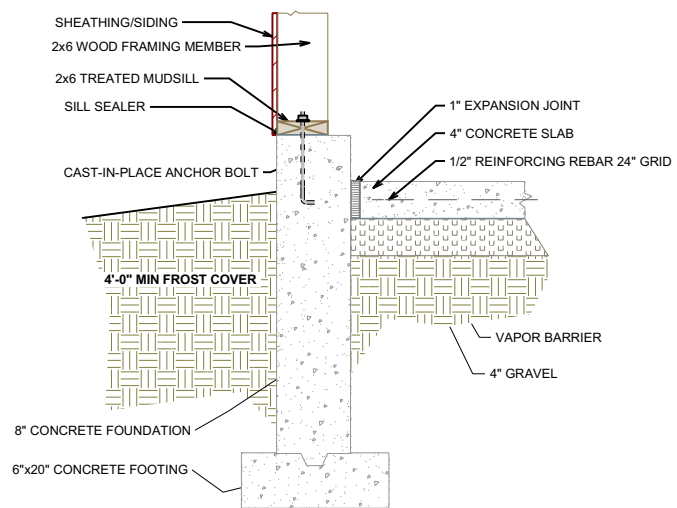
As shown

A-18

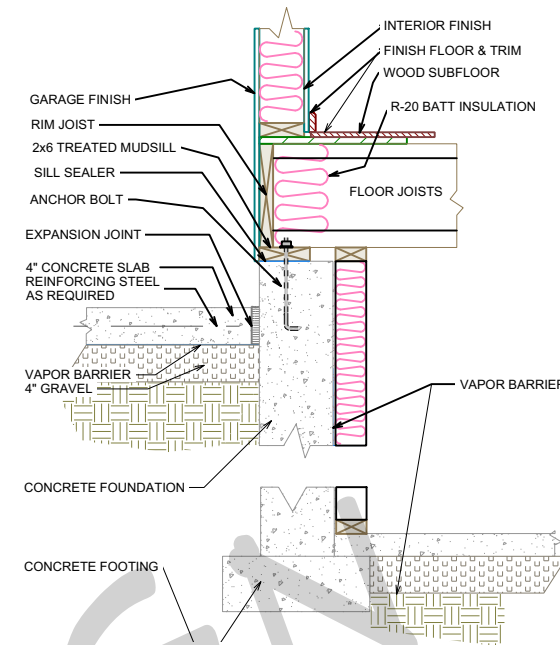




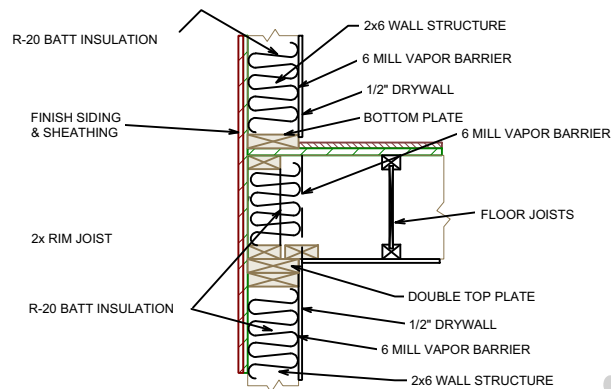
Energy Heel Truss



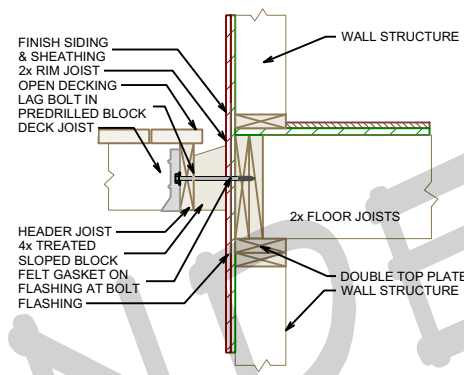
Concrete Slab at Garage Foundation



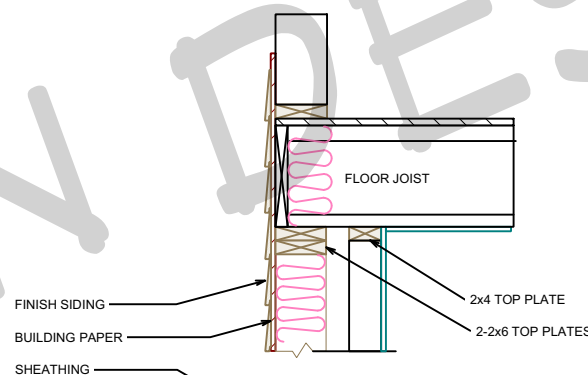
Garage Slab at House



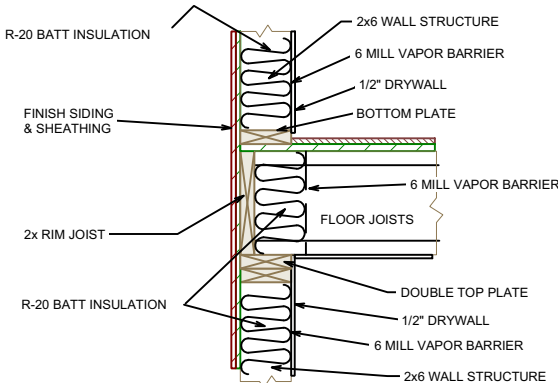
FIRST FL. TO SECOND FL. CONNECTIONS



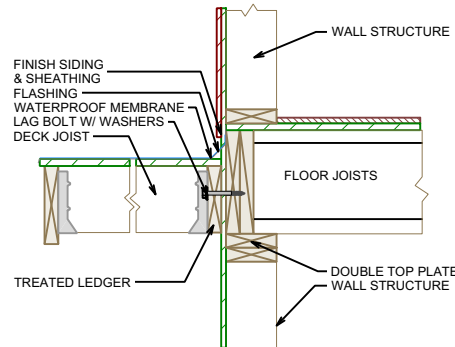
Deck Anchored to Wood Wall:



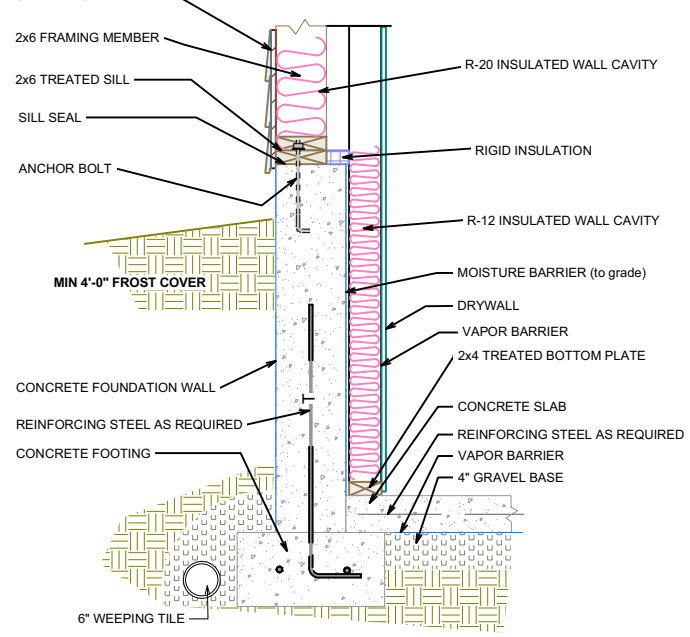
Pony Wall: Finished 2x4 furred Walls



FIRST FL. TO SECOND FL. CONNECTIONS



Waterproof Deck



Basement Foundation: Finished 2x4 Walls

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PRELIMINARY PLANS ONLY  
PROPERTY OF LANDEN DESIGN

NO.	DESCRIPTION	BY	DATE

CONSTRUCTION DETAILS

PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
RESIDENCE FOR: WIGGINS FAMILY  
CUSTOMER: BUILDER  
LANDEN DESIGN  
Address: 1811 Hwy 10, Box 2, Okotoks, AB T1S 1A2  
Phone: 403-674-4474 Email: landen@landendesign.com  
All work is subject to the terms and conditions of the contract.

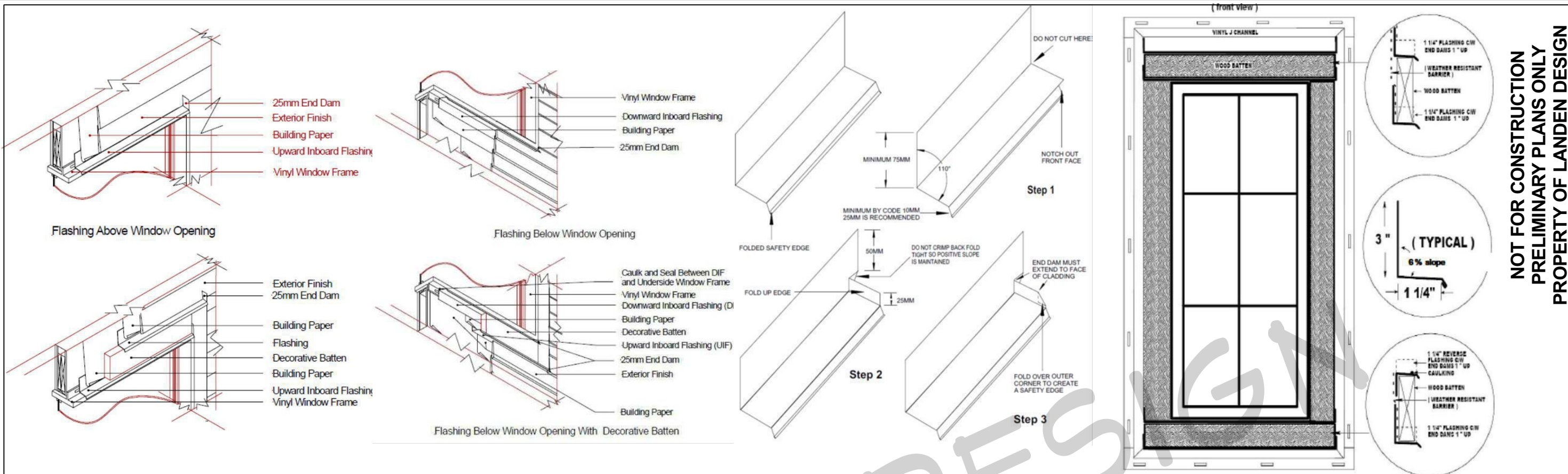


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2/5/2018

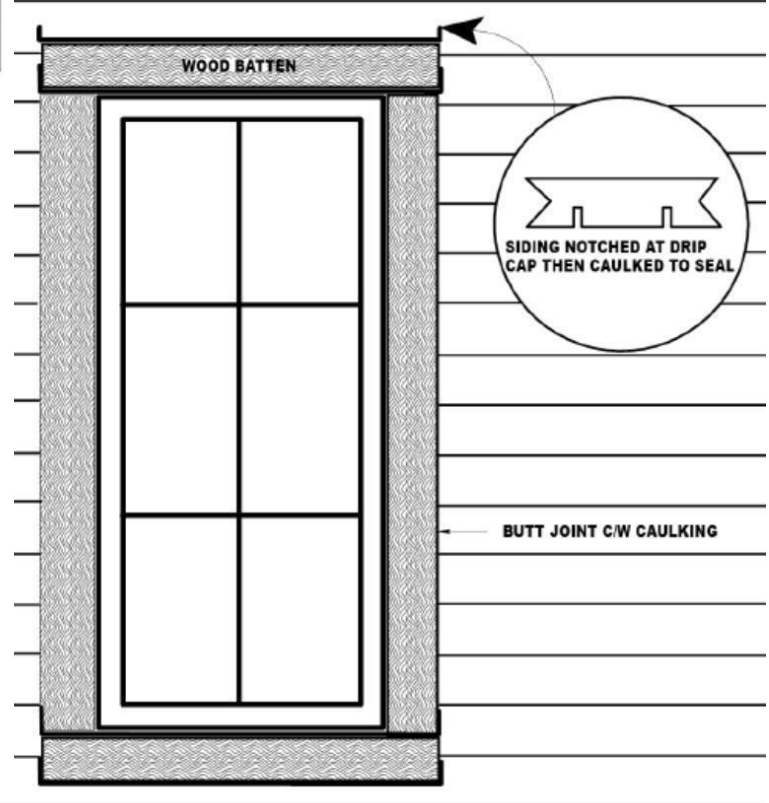
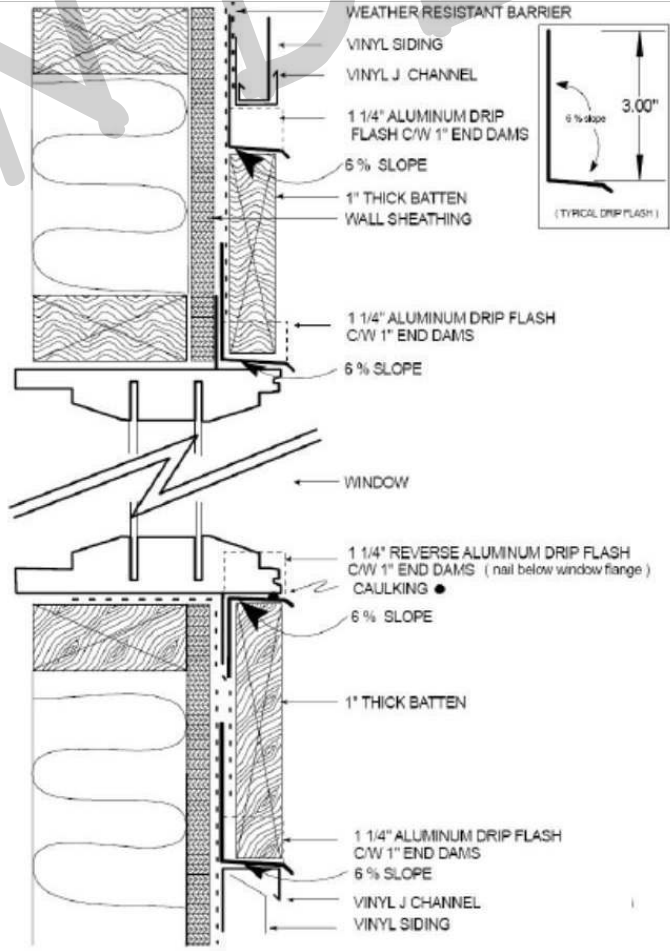
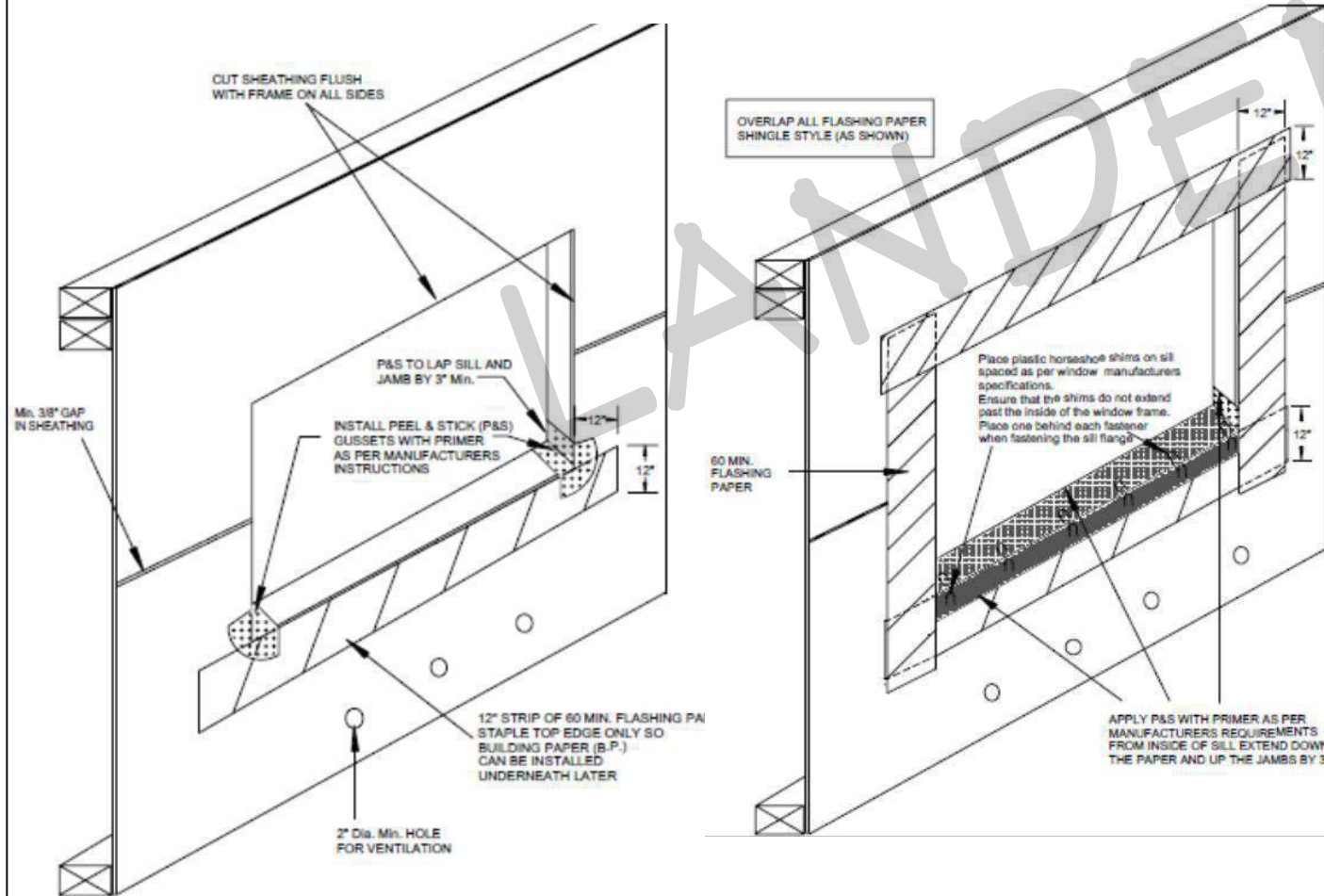
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1/8"=1' or  
As shown

**A-19**



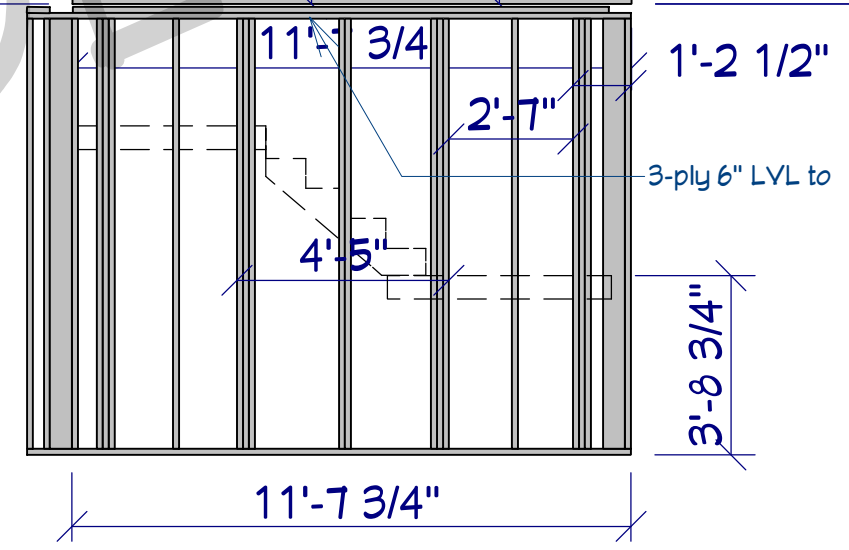
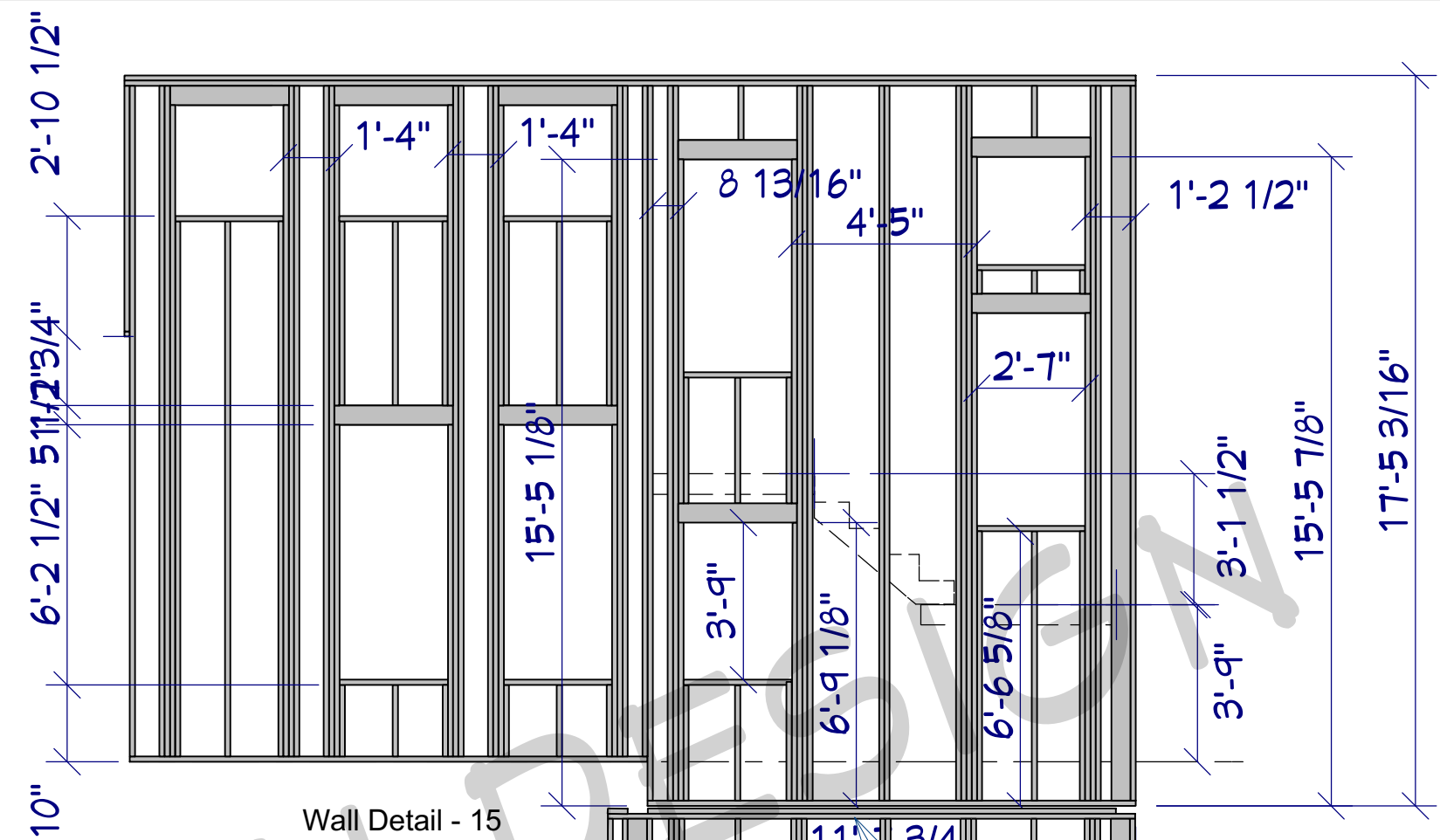
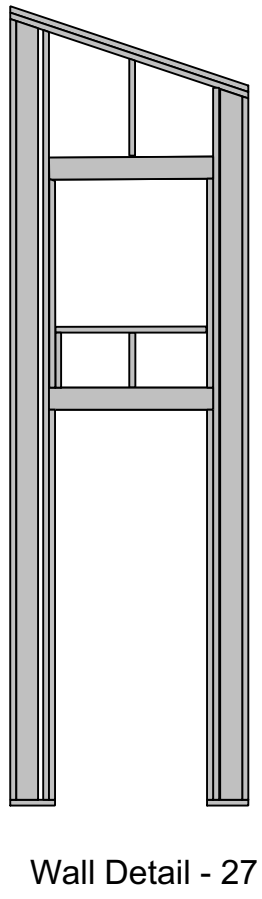
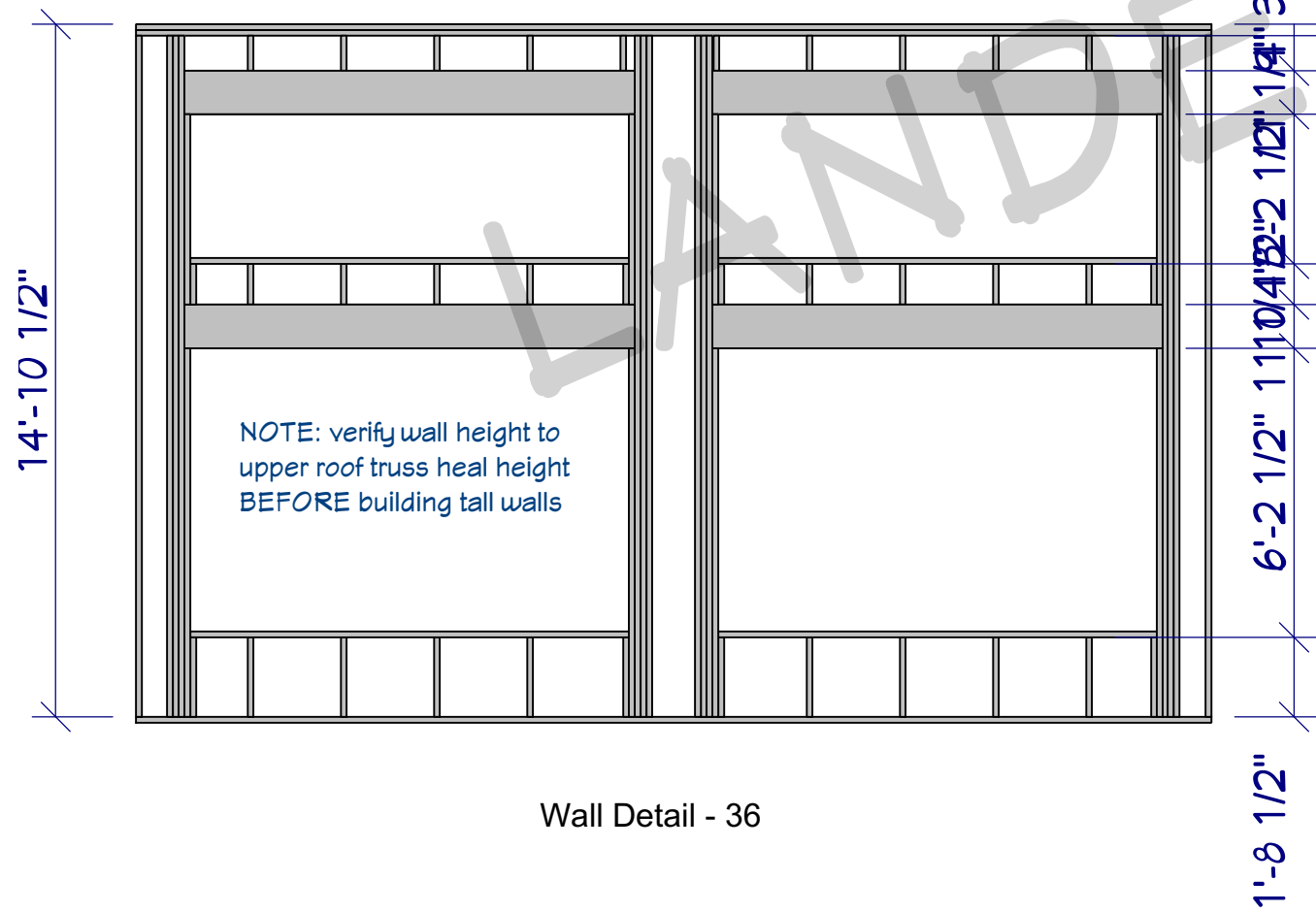


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PRELIMINARY PLANS ONLY  
PROPERTY OF LANDEN DESIGN**



NO.		DESCRIPTION	BY	DATE
<b>FLASHING DETAILS</b>				
PROJECT / SITE ADDRESS:				
PROJECT: TWO STORY HOME				
RESIDENCE FOR: WIGGINS FAMILY				
CUSTOMER: BUILDER				
<small>LANDEN DESIGN          Designer: GREG GONERLICK Phone: 403-674-7474 Email: greg@landendesign.com          1000 Ave. 8, Edmonton, Alberta T6E 6K7          All rights reserved. No part of this document may be reproduced without the written consent of the designer.</small>				
<b>LANDEN DESIGN</b> WE BRING LAND & HOME TOGETHER IN PERFECT HARMONY				
DATE:				
2/5/2018				
SCALE:				
1/8"=1' or				
As shown				
<b>A-20</b>				





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 PRELIMINARY PLANS ONLY  
 PROPERTY OF LANDEN DESIGN

TALL WALL  
 CONSTRUCTION DETAILS  
 PROJECT / SITE ADDRESS:

PROJECT: TWO STORY HOME  
 RESIDENCE FOR: HIGGINS FAMILY  
 CUSTOMER: BUILDER  
 LANDEN DESIGN  
 Designer: GREG DONERBAK Phone: 402-674-7474 Email: greg@landendesign.com  
 All plans are submitted without the written consent of the designer.



DATE:  
 2/5/2018

SCALE:  
 1/8"=1' or  
 As shown

**A-21**

NO.	DESCRIPTION	BY	DATE